

Lewis County

Master Site Review



Community Development • 125 NW Chehalis Ave, Chehalis, WA 98532 • Phone: (360) 740-1146

Step 1 Site Analysis Status: CONDITIONALLY APPROVED

Parcel Number(s): 028513011000

Master Site Review #: MSR25-0118

Applicant's Name: NORTH GROUP, INC

Review #: 1

Project Proposal: Installation of a wireless communication facility consisting of a new 150' monopole with attached antennas and cabling along with ground mounted equipment cabinets and generator placed within a 50'x50 fenced area.

Associated Planning Permits: None

Zoning: Rural Development District (RDD-5)

Conditions of Approval

- 1 Any change in the project from the current proposal requires further review.
- 2 All other required local, state, and federal permits are required to be obtained by the applicant including all permits listed on page two of this Master Site Review.
- 3 A Type III Wireless Communication Facility (WCF) Application is required.
- 4 The State Environmental Policy Act Checklist (SEPA) is required to be submitted with your WCF Application.
- 5 A Geotechnical Report is required for the proposal. The Geotechnical Report can be submitted with the WCF Application or be made a condition of approval of the WCF Application approval. The Geotechnical Report will need to include any improvements to the access road that are required for emergency services access.
- 6 A Stormwater Permit is required if the total amount of new impervious surface exceeds 5,000 square feet, including the access.

The recommendations and requirements in the following reports may be conditions of development:

None

The current proposal is in compliance with the Critical Area Ordinance. If the project changes from the current scope, a review of the following critical areas may be required.

- Geologically Hazardous Areas Review – due to the proximity of the site to steep slopes, erosion hazard areas and/or historic landslide areas.
- Geologically Hazardous Areas Review – due to the proximity of the site to an Erosion Hazard Area

The following notices are provided for the proposal:

- The subject property is within or near land designated for long-term commercially significant resource use in which natural resource activities are permitted and encouraged, including a variety of activities that may not be compatible with residential or other types of development. These activities may be conducted over periods that extend beyond the normal workday and/or work week and produce noise, dust, smoke, visual impacts, and odors. When performed in accordance with best management practices, these resource utilization activities are to be expected and shall not be subject to legal action or public nuisance.

Final Planning Approval

Review Approved by: _____ Date: 04/09/2025

Review Completed By: Preston Pinkston, Planner

Step 2: Site Permitting

Required applications for the proposal described (more applications/information may be required after further review):

Community Development

Address

Public Health and Social Services

Well Site Inspection

Public Works

Road Approach

None, the proposal can submit the building permitting requirements

Step 3: Development Permitting

Required applications for the proposal described (more applications/information may be required after further review):

Water

- Well Log for Individual Well
- Water Availability Notification
- Municipal WAN
- Two Party/Shared Well
- Group B Well
- Arsenic Testing
- Water Purveyor Consent Form

Sewage Disposal

- Septic Permit
- Septic Connection/Reconnection
- Sewer Availability

Other

- WCF Application
- SEPA
- Fill and Grade
- Stormwater

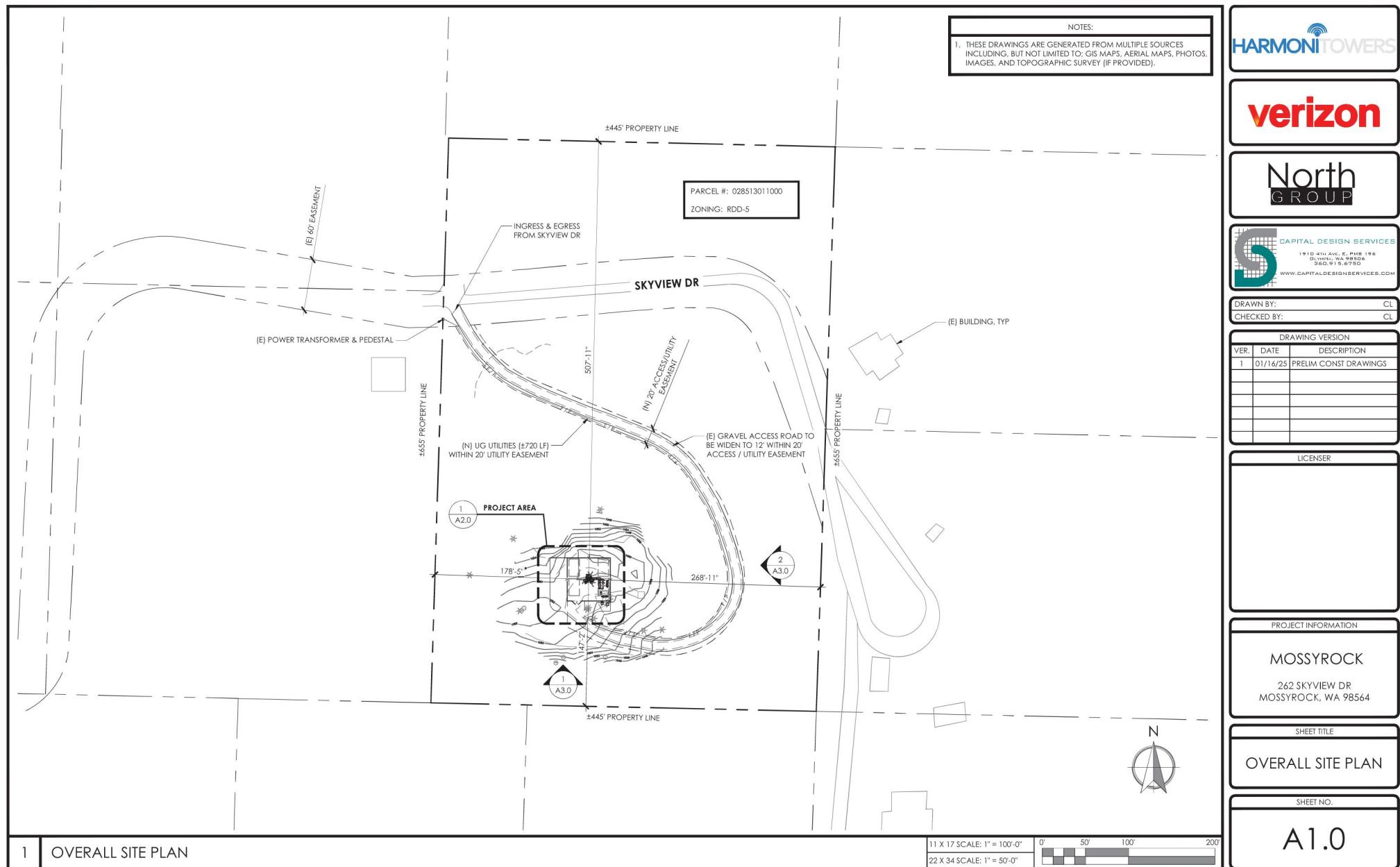
Building

- Building or Placement Permit
- Building (Change of Use)
- Improvements Necessary for Fire Access
- Demolition Permit
- Energy Code Compliance

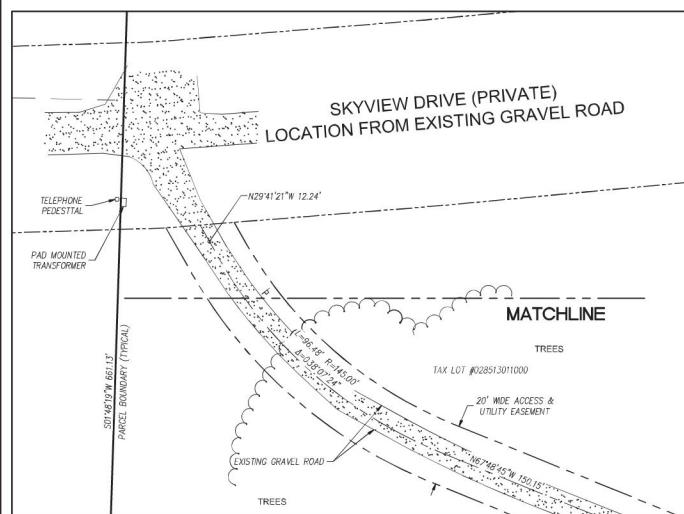
***Building may require engineering depending on plans**

WRIA: 26 Cowlitz

**If the well is drilled after January 19, 2018 and you are located in the Chehalis (23), Nisqually (11) or Deschutes Water Basin(13), a \$500 fee and covenant restricting water usage may apply*



PROJECT SCOPE		SHEET INDEX	
<p>PROPOSED INSTALLATION OF A TELECOMMUNICATIONS FACILITY ON AN EXISTING PARCEL.</p> <ul style="list-style-type: none"> 50.0' X 50.0' (2,500 SF) LEASE AREA 6.0' TALL CHAIN-LINK FENCE W/ GREEN PRIVACY SLATS & 12.0' WIDE DUAL SWING ACCESS GATE AROUND LEASE AREA (4) EQUIPMENT AREAS, (3) FOR FUTURE CARRIERS (1) UTILITY H-FRAME W/ (4) METER BASE CAPACITY (1) 150.0' MONPOLE WITHIN FENCED LEASE AREA (1) ANTENNA MOUNTING ASSEMBLY, ANTENNAS, RADIOS, CABLES & GROUND SITE SUPPORT EQUIPMENT PROPOSED INSTALLATION OF A NEW 800A ELECTRICAL SERVICE 		<p>HARMONI TOWERS</p> <p>MOSSYROCK 262 SKYVIEW DR MOSSYROCK, WA 98564 HARMONI SITE #: WA0007224 CONSTRUCTION DRAWINGS</p>	
PROJECT CONTACTS		PROJECT INFORMATION	
<p>APPLICANT: ATTENTION: HARMONI TOWERS/ PARALLEL INFRASTRUCTURE 6210 ARDREY KELL RD, SUITE 450 CHARLOTTE, NC 28277-4864 CHAD RUMSEY PH: 857.756.9022</p> <p>PROPERTY OWNER: KEVIN RIFFLE PH: 425.445.4000</p> <p>TOWER OWNER: ATTENTION: HARMONI TOWERS/ PARALLEL INFRASTRUCTURE 6210 ARDREY KELL RD, SUITE 450 CHARLOTTE, NC 28277-4864 CHAD RUMSEY PH: 857.756.9022</p> <p>SITE ACQUISITION AGENT: NORTH GROUP P.O. BOX 2449 SNOHOMISH, WA 98291 BILL NORTH PH: 425.876.2909</p> <p>ZONING/PERMITTING AGENT: NORTH GROUP P.O. BOX 2449 SNOHOMISH, WA 98291 RACHEL NORTH PH: 425.280.1376</p> <p>SURVEYOR: DUNCANSON 145 SW 155TH STREET, SUITE 102 SEATTLE, WA 98166 PH: 206.244.4141</p> <p>ENGINEER OF RECORD: VECTOR STRUCTURAL ENGINEERING 651 W. GALENA PARK BLVD., SUITE 101 DRAPE, UT 84020 WELLS L. HOLMES, SE PH: 801.990.1775</p>		<p>SITE NAME: MOSSYROCK ADDRESS: 262 SKYVIEW DR MOSSYROCK, WA 98564</p> <p>JURISDICTION: PARCEL #: 028513011000 ZONING: RDD-5</p> <p>LATITUDE: 46° 32' 44.85" N (46.545793°) LONGITUDE: 122° 30' 16.60" W (-122.504611°)</p> <p>SOURCE: 1A CERTIFICATION GROUND ELEVATION: 1061.8'</p> <p>(N) STRUCTURE HEIGHT: 150.0' AGL (N) GROUND LEASE AREA: 2,500 SQ FT</p> <p>OCCUPANCY: GROUP: U II-B</p> <p>FROM VERIZON OFFICE IN PORTLAND, OREGON:</p> <ol style="list-style-type: none"> HEAD EAST TOWARD 158TH AVE SE TURN RIGHT ONTO 158TH AVE SE TURN RIGHT ONTO SE EASTGATE WAY TURN LEFT ONTO THE I-90 W RAMP TO SEATTLE SLIGHT RIGHT ONTO THE 150TH AVE SE RAMP TAKE THE RAMP ONTO I-90 MERGE ONTO I-90 W USE THE RIGHT LANE TO MERGE ONTO I-5 S TAKE EXIT 68 FOR US 12 E TOWARD MORTON/YAKIMA TURN LEFT ONTO US-12 E TURN LEFT ONTO BIRLEY RD TURN RIGHT ONTO SKYVIEW DR TURN LEFT TO STAY ON SKYVIEW DR <p>TOTAL MILES: 120 MILES</p> <p>** THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE OWNER IS STRICTLY PROHIBITED.</p>	
<p>VICINITY MAP</p>		<p>LOCALIZED MAP</p>	
<p>GOVERNING CODES</p> <p>2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL SPECIALTY CODE 2021 INTERNATIONAL FIRE CODE 2020 NFPA 70 NATIONAL ELECTRICAL CODE (NEC) 2021 WASHINGTON STATE ENERGY CODE</p> <p>A.D.A. COMPLIANCE INSTALLATION IS UNMANNED / NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED PER A.D.A.</p>		<p>811 Know what's below. Call before you dig.</p>	
<p>PROJECT INFORMATION</p> <p>MOSSYROCK 262 SKYVIEW DR MOSSYROCK, WA 98564</p>		<p>TITLE SHEET</p> <p>SHEET NO.</p> <p>T1.0</p>	



LEGEND

—	SUBJECT BOUNDARY LINE
— — — — —	RIGHT-OF-WAY CENTERLINE
— — — — —	RIGHT-OF-WAY LINE
— — — — —	ADJACENT BOUNDARY LINE
— — — — —	SECTIONAL BREAKDOWN LINE
— DP	OVERHEAD POWER LINE
— UP	BURIED POWER LINE
— G	BURIED GAS LINE
— UT	OVERHEAD TELEPHONE LINE
— UT	BURIED TELEPHONE LINE
— V	BURIED WATER LINE
— SS	BURIED SANITARY SEWER
— SD	BURIED STORM DRAIN
• • • • •	DITCH LINE/ FLOW LINE
CCCCCCCCCCCC	ROCK RETAINING WALL
— — — — —	VEGETATION LINE
○ — — — —	CHAIN LINK FENCE
— □ — — — —	WOOD FENCE
— X — — — —	BARBED WIRE/WIRE FENCE
△	TRANSFORMER
☒	LIGHT STANDARD
☒	POWER VAULT
☒	UTILITY BOX
○	UTILITY POLE
— - -	GUY ANCHOR
□	GAS VALVE
□	GAS METER
□	TELEPHONE VAULT
○	TEL. MANHOLE
○	TEL. PEDESTAL
NOTE:	
	○ FIRE HYDRANT
	☒ GATE VALVE
	☒ WATER METER
	☒ FIRE STAND PIPE
	☒ INFLATION CONTROL
	□ CATCH BASIN, TYPE
	○ CATCH BASIN, TYPE
	△ SIGN
	○ BOLLARD
	□ MAIL BOX
	234.21 SPOT ELEVATION

NOTE:

- 1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) AND ARE REFERENCED TO THE NAVD88 DATUM.
- 2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL) AND ARE ACCURATE TO ± 0.5 FEET OR $\pm 1\%$ OF TOTAL HEIGHT, WHICHEVER IS GREATER.



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ll before you dig.

LATITUDE/LONGITUDE POSITION

COORDINATE DATA AT CENTER OF PROPOSED MONOPOLY
LOCATION:
NAD 83/91
LAT - 46°32'44.85" N NAVD 88
LONG - 122°30'16.60" W ELEV.= 1061.8 FEET

TREE LEGEND

DECIDUOUS TREE	AL=A-ALDER MP=M-MAPLE DA=D-DECIDUOUS MA=M-MADRONE OK=OAK CH=CHERRY
 AL12 ← TRUNK DIAMETER (IN) TYPE	
EVERGREEN TREE  UF18 195.2	CE=CEDAR D=DOUGLAS FIR HE=HEMLOCK PI=PINE EVG=EVERGREEN  ST=STUMP

NOTE: HEIGHT AGE IF MEASURED
TREE DRIP LINES ARE NOT TO SCALE. TREE SYMBOLS
REFERENCE TRUNK LOCATION ONLY. TRUNK DIAMETERS
WERE APPROXIMATED AT 3.5' TO 4' ABOVE GROUND LEVEL.
TREES SHOWN ARE FOR ESTIMATION ONLY AND OTHER
TREES AND VEGETATION MAY EXIST.

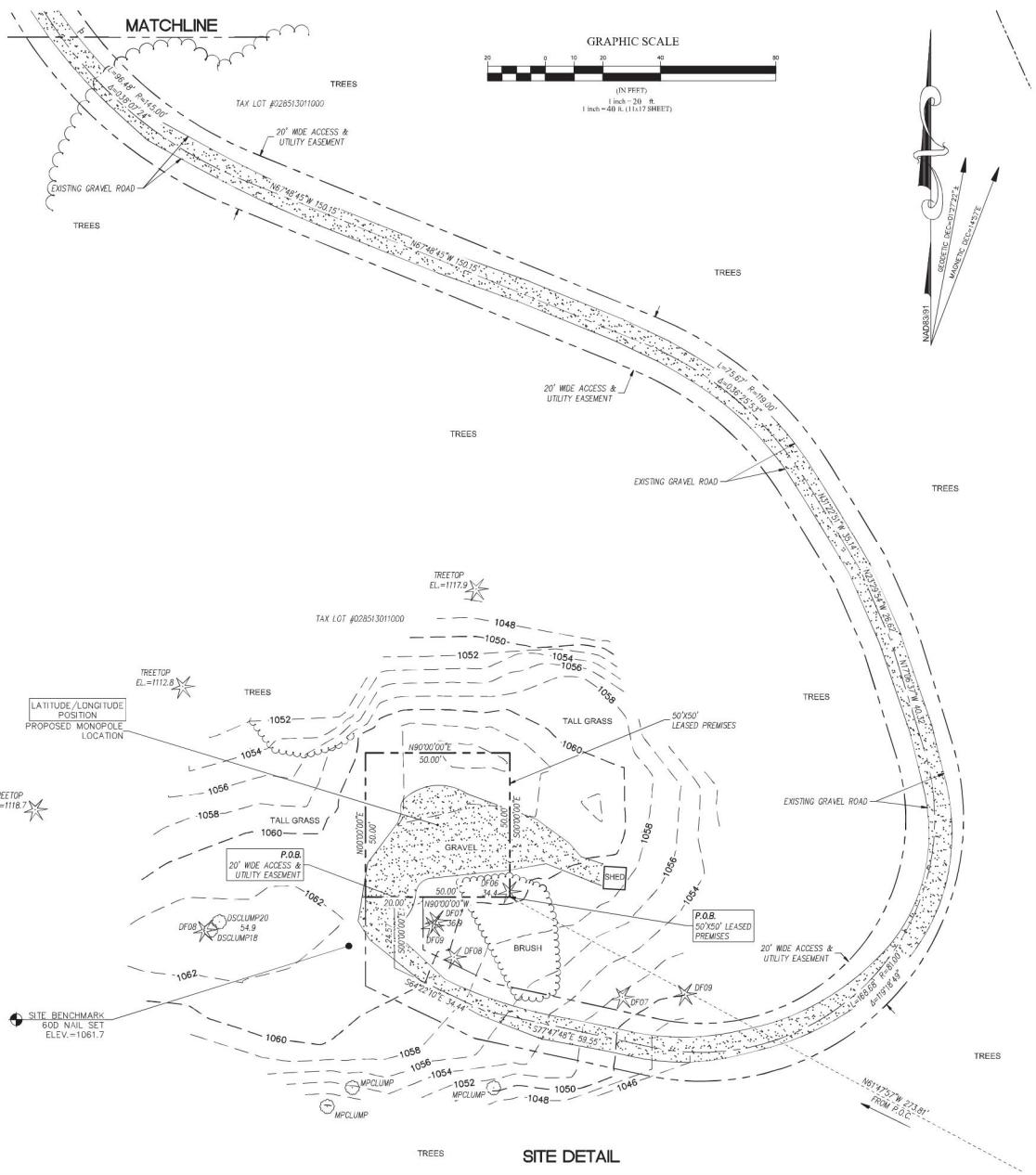
SURVEY REFERENCE

1. RECORD OF SURVEY PER A.F. NO. 3161844,
RECORDS OF LEWIS COUNTY.
2. QUITCLAIM DEED PER A.F. NO. 3518567, RECORDS
OF LEWIS COUNTY.

BOUNDARY DISCLAIMER

PLAN DOES NOT REPRESENT A BOUNDARY

THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. SUBJECT AND ADJACENT PROPERTY LINES ARE DEPICTED USING FIELD-FOUND EVIDENCE AND RECORD INFORMATION.



SITE DETAILS

HARMONI TOWERS



The logo for Duncanson Company, Inc. features a circular emblem with a stylized letter 'D' in the center, surrounded by a ring of horizontal lines. Below the emblem, the company name 'DUNCANSON' is written in a bold, sans-serif font, with 'Company, Inc.' in a smaller font underneath.

SITE
MOSSY ROCK

THIS DRAWING WAS CREATED FOR THE
EXCLUSIVE USE OF THE CLIENT NAMED HEREON,
AND IS NOT TO BE USED IN WHOLE OR IN PART
WITHOUT WRITTEN AUTHORIZATION FROM
SAR/CLIENT

BAD CLIENT
©2023, DUNCANSON COMPANY, INC.

FLD. CREW:	DC/AH
FLD. BOOK:	641/60
DRAWN BY:	LAC
JOB #:	99544.2970
DATE:	09/16/24

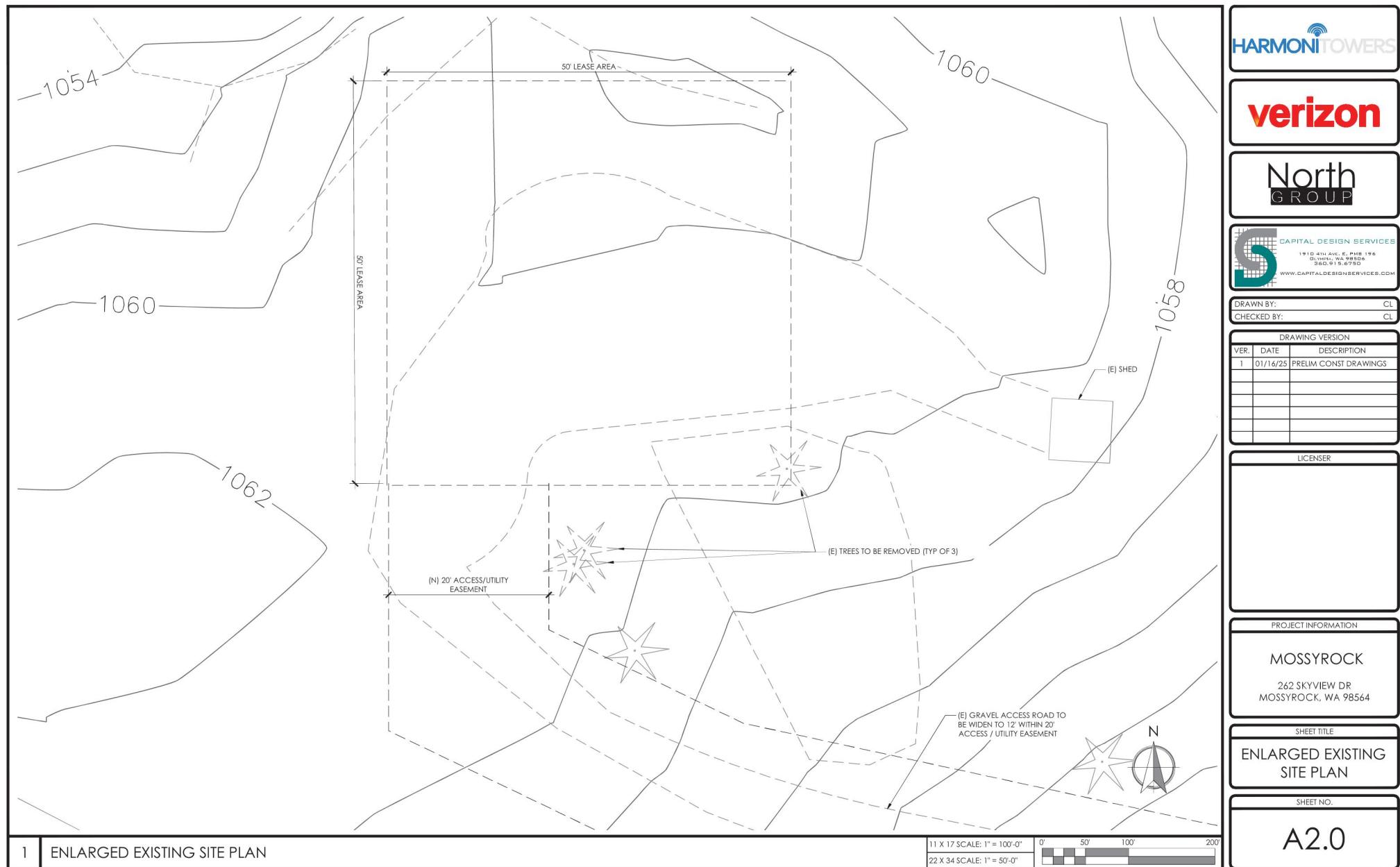
REVISIONS

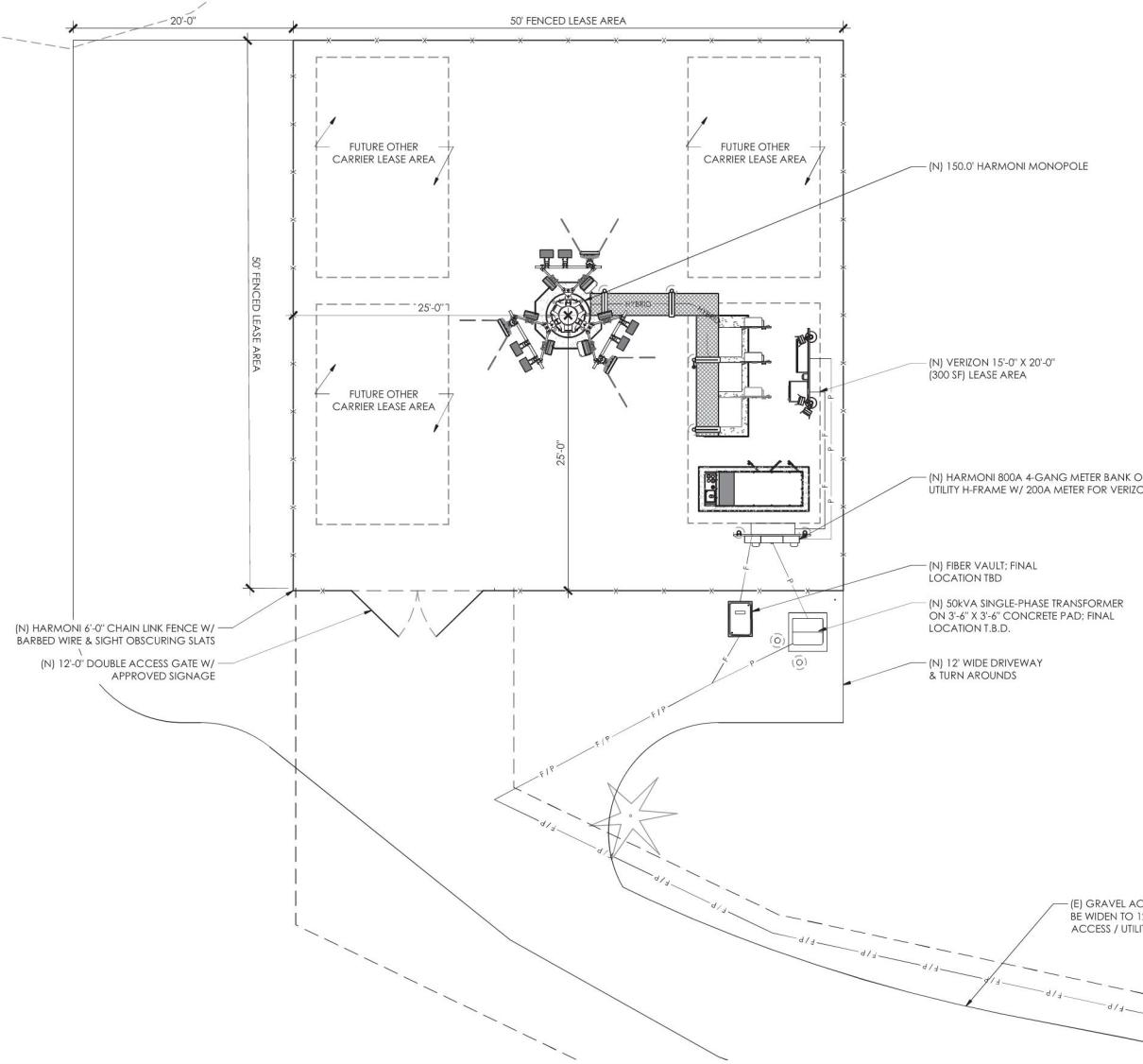
DATE	DESCRIPTION	BY
10/26/24	ADD TITLE INFORMATION	LAC



SHEET TITLE
SURVEY
SEC 12, TWP 21 N, RNG 2 E, WM

SHEET NUMBER
SV2





verizon

North
GROUP



DRAWN BY: CL

CHECKED BY: CL

DRAWING VERSION

LICENSER

PROJECT INFORMATION

262 SKYVIEW DR
MOSSY ROCK, WA 98564

SWEET TITL

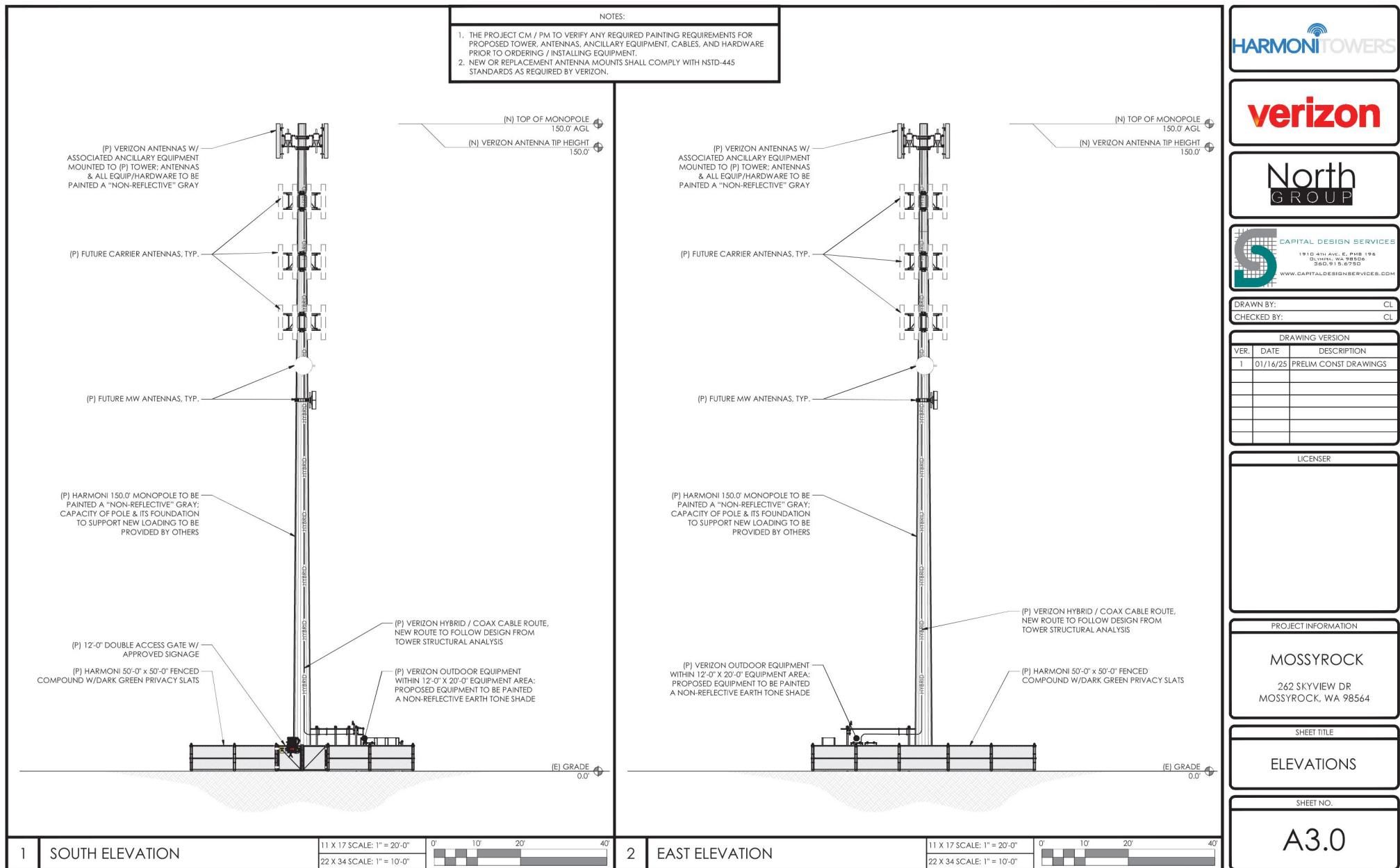
ENLARGED PROPOSED SITE PLAN

SHEET NO

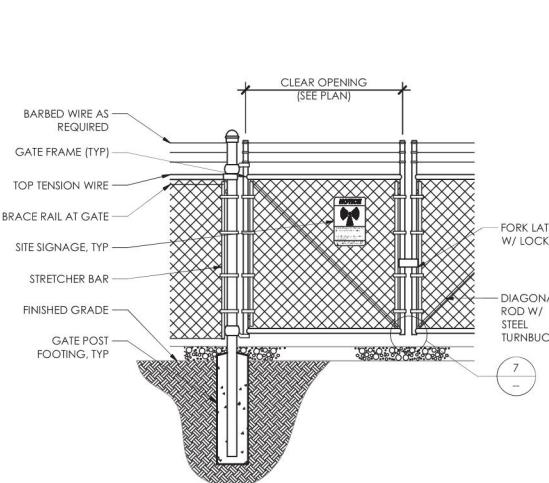
1 ENLARGED PROPOSED SITE PLAN

11 X 17 SCALE: 3/32" = 1'-0"	0'	10'
22 X 34 SCALE: 3/16" = 1'-0"		

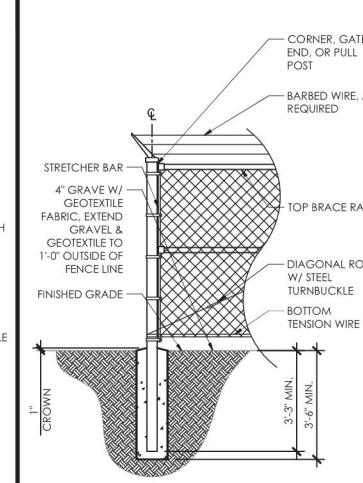
A2.1



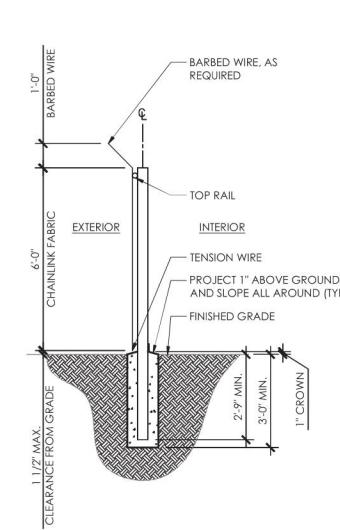
1. THE CONTRACTOR SHALL MATCH THE FENCING STYLE, HEIGHT, BANDING, BARBED WIRES, SUPPORTS, AND MEASUREMENTS OF THE EXISTING FENCE WHEREVER THE PROJECT REQUIRES MODIFICATION OR EXTENSION OF AN EXISTING FENCED AREA.
2. ALL WIRE RAILS, FABRIC, POLES, HARDWARE, AND OTHER STEEL MATERIAL SHALL BE HOT-DIPPED GALVANIZED AND CONFORM TO ALL ASTM REGULATIONS FOR GALVANIZING.
3. THE FABRIC SHALL BE 6'-0" HIGH x 2' CHAIN LINK MESH OF NO. 9 GAUGE (0.148) WIRE, AND HAVE A TWISTED AND BARBED FINISH FOR THE TOP EDGES AND A KNUCKLED FINISH FOR THE BOTTOM EDGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS-1.
4. ALL BARBED WIRE SHALL BE 12 GAUGE TWISTED WIRE, DOUBLE-STRAND, WITH 14 GAUGE, 4 POINT ROUND BARBS SPACED AT 5" O.C..
5. ALL POSTS SHALL BE GALVANIZED STEEL, SCHEDULE 20 PIPE OF THE FOLLOWING DIAMETERS: LINE = 2-3/8" / CORNER = 3" / GATE = 3"
6. IF APPLICABLE, EXTEND CORNER AND GATE POSTS 12" INCLUDING THE METAL DOME CAP TO PROVIDE FOR ATTACHMENT OF THE BARBED WIRE.
7. GATE FRAMES SHALL HAVE A FULL HEIGHT VERTICAL BRACE AND A FULL WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
8. ALL TOP AND BRADED RAILS SHALL BE 1-5/8" Ø SCHEDULE 20 MECHANICAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
9. HINGES SHALL BE A MINIMUM OF 200 DEGREES WITH A HINGE ADAPTER. LATCHES, STOPS AND KEEPERS SHALL BE PROVIDED FOR ALL GATES. THE GUIDE LATCH ASSEMBLY SHALL BE TAMPER-PROOF. ALL STOPS AND DOUBLE GATES SHALL HAVE A FULL HEIGHT PLUNGER BAR WITH A METAL DOME CAP.
10. AN NO. 7 GAUGE ZINC COATED TENSION WIRE IS TO BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATEPOSTS.
11. A 6" x 12" EYEBOLT TO HOLD TENSION WIRE SHALL BE USED AT ALL LINE POSTS.
12. ALL STRETCHER BARS SHALL BE 3/16 x 3/4" OR HAVE EQUIVALENT CROSS SECTION AREA.
13. ALL CORNER GATE AND END PANELS SHALL HAVE A 3/8" TRUSS ROD WITH TURNBUCKLES AND BE BRACED WITH ONE 1-5/8" HORIZONTAL COMPRESSION MEMBER, SECURELY ATTACHED WITH IRON FITTINGS.
14. CONTRACTOR TO PROVIDE ALL OTHER HARDWARE NECESSARY TO ATTACH, TENSION, CLIP, BAND, HINGE, FASTEN AND FINISH THE FENCING PROPERLY.
15. IF APPLICABLE, THE BARBED WIRE SUPPORT ARMS SHALL BE SCH. 40, GALVANIZED STEEL WITH SET BOLT AND LOCK LOCK WIRE IN THE ARM.
16. ALL POSTS, GATE GUARDS, AND OTHER OPEN PIPES SHALL BE CAPPED WITH A HOT DIPPED GALVANIZED CAST STEEL DOME CAP.
17. ALL POSTS SHALL HAVE A MINIMUM OF 6" OF CONCRETE UNDER THE LOWER MOST PORTION TO A MINIMUM OF 8" LARGER THAN THE DIAMETER AT THE FINISHED GRADE.
18. ALL FENCE POSTS SHALL BE SCH. 40 GALVANIZED STEEL POSTS WITH SET BOLT AND LOCK WIRE IN THE ARM.
19. AT CORNER POSTS, GATE POST, LINE POST, AND SIDE OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND CLIPS AT 1'-3" INTERVALS.
20. ATTACH FABRIC TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH THE TIE CLIPS AT 2'-0" INTERVALS.
21. PROVIDE A MAXIMUM GAP OF 1" BETWEEN THE CHAIN LINK FABRIC AND THE FINAL GRADE.
22. GATE HINGES SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL, AND GATES SHALL BE INSTALLED SO THAT LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
23. CONTRACTOR TO TOUCH UP ALL SCRAPES, SCRATCHES, MARKS, AND BARE AREAS WITH A COLD GALVANIZED SPRAY.



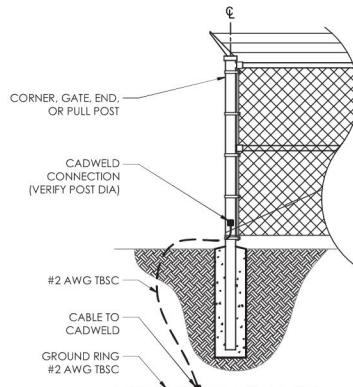
2 DOUBLE SWING GATE



3 CORNER POST



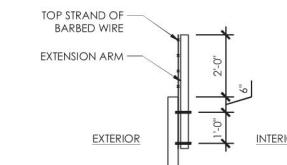
4 WOVEN WIRE



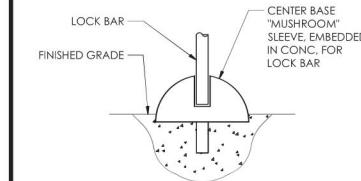
GROUNDING NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AT MINIMUM, ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100-FOOT STRAIGHT RUN OF FENCE.
2. HE #2 AWG, TBSC, FROM THE RING GROUND SHALL BE CADWELDED TO THE POST, ABOVE GROUND.
3. THE GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAIDED FLAT STRAP WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. THE GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULL OPEN IN EITHER DIRECTIONS.

5 FENCE GROUNDING



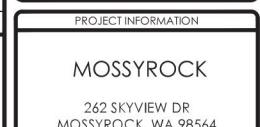
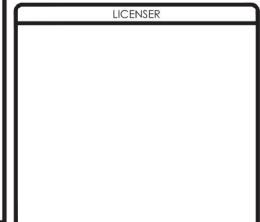
6 BARBED WIRE



7 GATE STOP



DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS



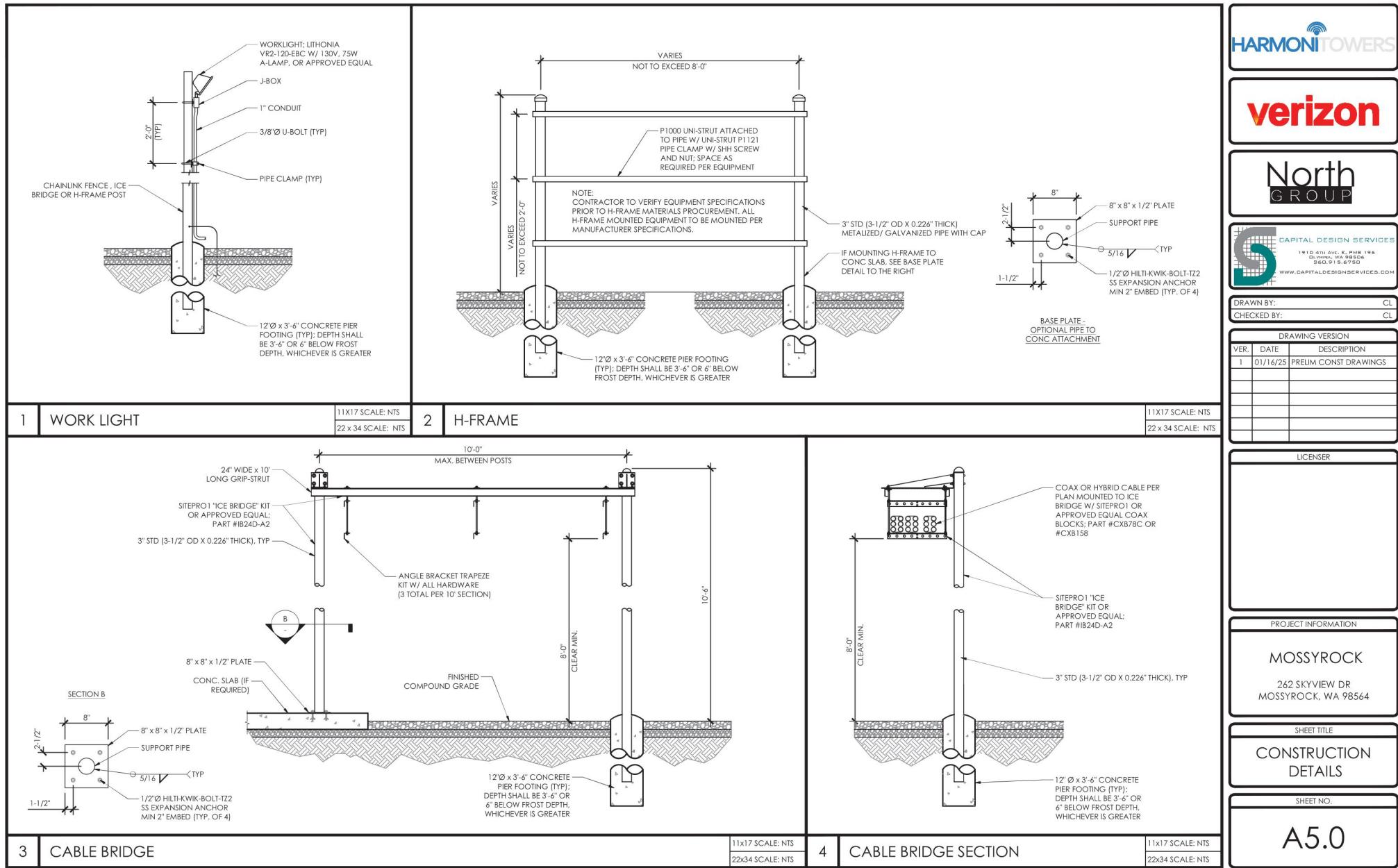
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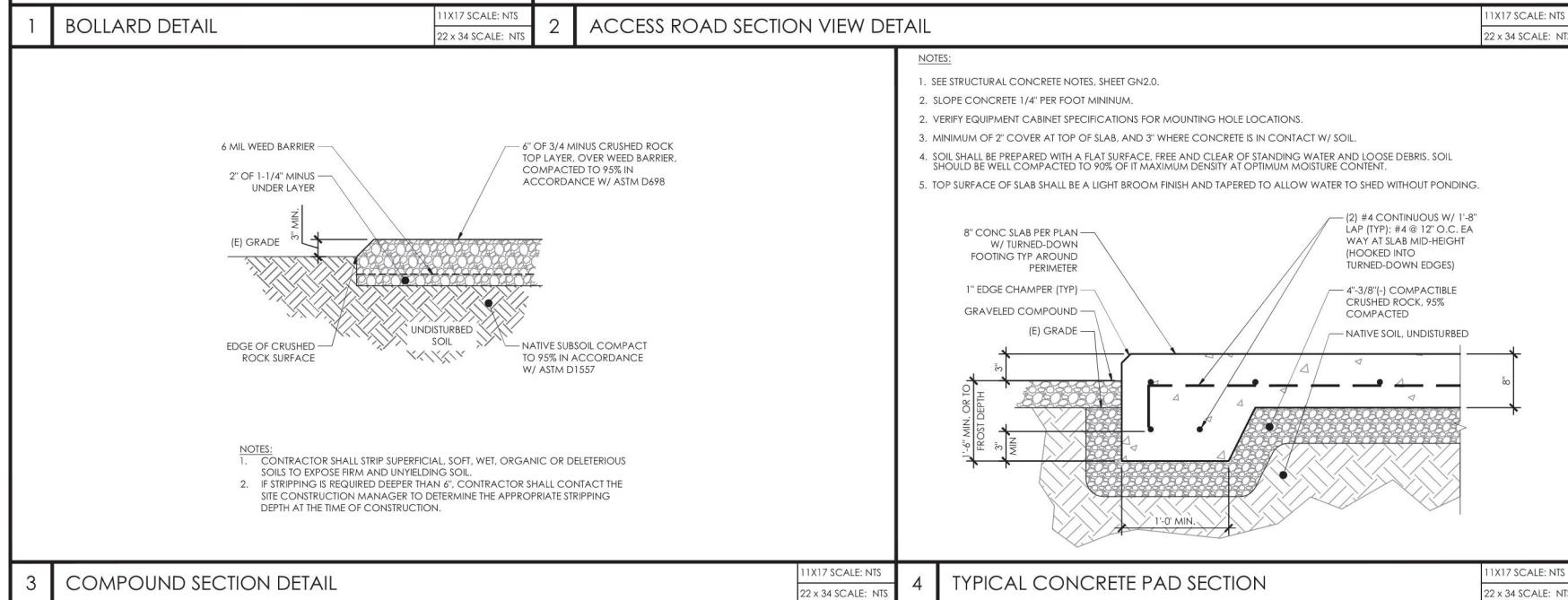
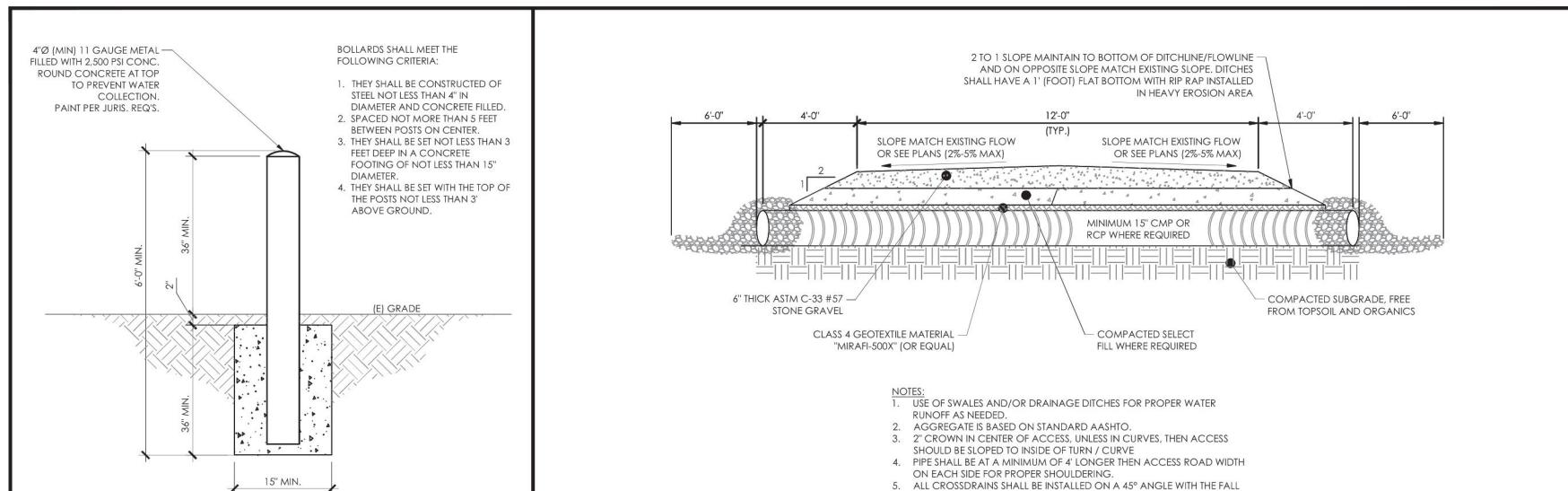
FENCE DETAILS

SHEET NO.

A4.0

1 NOTES

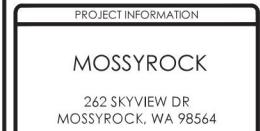
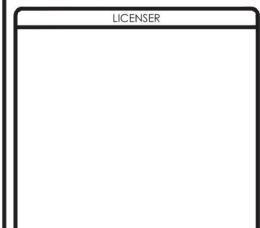




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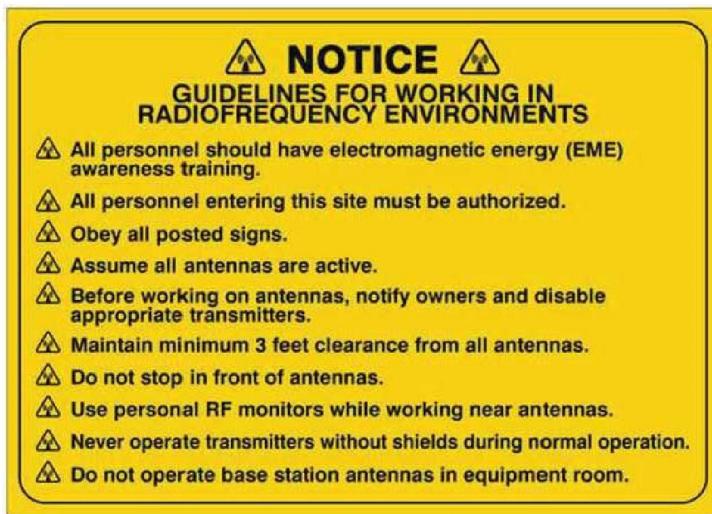
DRAWING VERSION

VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS



SHEET NO.

A5.1



HARMONI TOWERS

ASR NUMBER: _____

SITE NAME: MOSSYROCK

SITE ID: WA0007224

FOR LEASING INFORMATION CALL: 501.850.0820 IN CASE OF EMERGENCY CALL: 844.398.9716



verizon

**North
GROUP**



DRAWN BY: CL
CHECKED BY: CL

DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

SITE SIGNAGE
DETAILS

SHEET NO.

A6.0

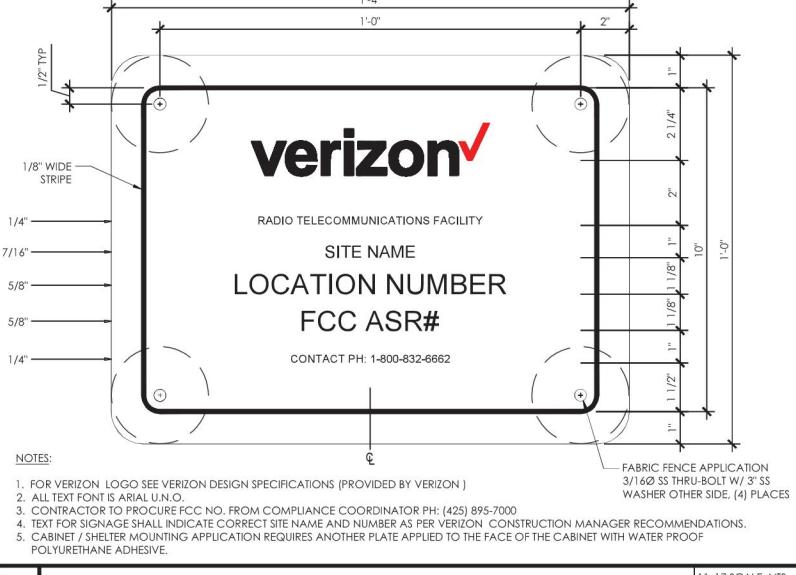
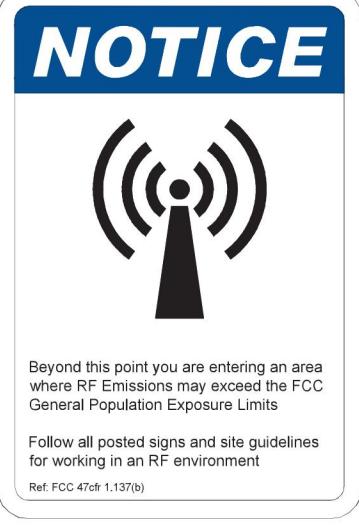
1 RFE GUIDELINE SIGNAGE 11X17 SCALE: NTS
22 x 34 SCALE: NTS

2 HARMONI SITE ID SIGNAGE 11X17 SCALE: NTS
22 x 34 SCALE: NTS

3 NOT USED 11X17 SCALE: NTS
22 x 34 SCALE: NTS

4 NOT USED 11X17 SCALE: NTS
22 x 34 SCALE: NTS

5 NOT USED 11X17 SCALE: NTS
22 x 34 SCALE: NTS

<p>SIGNS AND PLACEMENT:</p> <ol style="list-style-type: none"> LOW LEVEL (BLUE) WARNING SIGNS (PLACE AT SITE ENTRY/ACCESS POINTS ONLY): <ul style="list-style-type: none"> ROOF TOPS: PLACE SIGNS ON THE INSIDE OF ROOF HATCH. PLACE ON ACCESS DOOR UNLESS DOOR IS USED BY GENERAL PUBLIC OR BUILDING TENANTS REGULARLY FOR ACCESS. IN THESE CASES, CONSULT CONSTRUCTION MANAGER OR QC SUPERVISOR. WATER TANKS: PLACE SIGNS ON COMPOUND GATE. VERIZON-OWNED SITES: PLACE ONE SIGN ON SITE GATE. HIGH LEVEL (RED) CAUTION SIGNS (PLACE AT ALL ANTENNA SECTORS WHERE ACCESS BY THE GENERAL PUBLIC TO THE ANTENNAS IS POSSIBLE): <ul style="list-style-type: none"> ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS TECH SCREWS. CC PARTICIPATION IN SIGN LOCATION: <ul style="list-style-type: none"> CM WILL MEET WITH ALL CC'S TO OUTLINE CRITERIA FOR SIGN PLACEMENT. EMPHASIS WILL BE ON GRAY AREA SITES, WHERE SIGN PLACEMENT IS NOT EASILY CHALLENGING. WE WILL GIVE CC'S AS MUCH GUIDANCE ON SPECIFIC SITUATIONS AS WE CAN FORESEE, BUT CC'S WILL BE ENCOURAGED TO PARTNER WITH CM OR QC IN DECIDING PLACEMENT OF DIFFICULT SITES. A JOINT SITE VISIT MAY BE REQUIRED TO FULFILL REQUIREMENTS. CC WILL CALL OUT SIGN LOCATION(S) AT THE A&E WALK. FOR EACH SITE AS THOSE OCCUR. ON SITES WITH EXISTING A&E BUT NOT YET CONSTRUCTED, CC WILL BE ASKED TO PROVIDE (WITHIN A REASONABLE TIME FRAME TBD) A DETAIL FOR SIGN PLACEMENT THAT WILL BE SLIP-SHEETED INTO EXISTING SETS. SIGN DISBURSEMENT FROM WAREHOUSE: <ul style="list-style-type: none"> SIGNS WILL BE IN STOCK AT KENT WAREHOUSE TO BE DISBURSED AS PART OF THE GC BOM AS CALLED OUT IN A&E DRAWINGS FOR EACH SITE. 	 <p>verizon RADIO TELECOMMUNICATIONS FACILITY SITE NAME LOCATION NUMBER FCC ASR# CONTACT PH: 1-800-832-6662</p> <p>NOTES: 1. FOR VERIZON LOGO SEE VERIZON DESIGN SPECIFICATIONS (PROVIDED BY VERIZON) 2. ALL TEXT FONT IS ARIAL U.N.O. 3. CONTRACTOR TO PROCURE FCC NO. FROM COMPLIANCE COORDINATOR PH: (425) 895-7000 4. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER VERIZON CONSTRUCTION MANAGER RECOMMENDATIONS. 5. CABINET / SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE.</p> <p>FABRIC FENCE APPLICATION 3/16" SS THRU-BOLT W/ 3" SS WASHER OTHER SIDE, (4) PLACES</p>	<p>NOTICE</p>  <p>Beyond this point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits</p> <p>Follow all posted signs and site guidelines for working in an RF environment</p> <p>Ref. FCC 47cfr 1.137(b)</p>	<p>HARMONI TOWERS</p> <p>verizon</p> <p>North GROUP</p> <p>CAPITAL DESIGN SERVICES 1910 21st AVE. E. PH: 1965 01100, WA 98504 360.915.6750 www.capitaldesignservices.com</p> <p>DRAWN BY: CL CHECKED BY: CL</p> <p>DRAWING VERSION</p> <table border="1"> <thead> <tr> <th>VER.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/16/25</td> <td>PRELIM CONST DRAWINGS</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>LICENSER</p> <p>PROJECT INFORMATION</p> <p>MOSSYROCK 262 SKYVIEW DR MOSSYROCK, WA 98564</p> <p>SHEET TITLE</p> <p>SITE SIGNAGE DETAILS</p> <p>SHEET NO.</p> <p>A6.1</p>	VER.	DATE	DESCRIPTION	1	01/16/25	PRELIM CONST DRAWINGS												
VER.	DATE	DESCRIPTION																			
1	01/16/25	PRELIM CONST DRAWINGS																			
<p>1 NOTES</p> <p>CAUTION</p>  <p>On this tower: Radio frequency fields near some antennas may exceed FCC rules for human exposure.</p> <p>Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor if working near active antennas.</p> <p>Ref. FCC 47cfr 1.137(b)</p>	<p>INFORMATION</p> <p>VERIZON operates telecommunications antennas at this location. Remain at least 3 feet away from any antenna and obey all posted signs.</p> <p>Contact the owner(s) of the antenna(s) before working closer than 3 feet from the antenna(s).</p> <p>Contact VERIZON at (VERIFY PHONE#) prior to performing any maintenance or repairs near VERIZON antennas.</p> <p>This is site# Contact the management office if this door/hatch/gate is found unlocked.</p> <p>INFORMACION</p> <p>En esta propiedad se ubican antenas de telecomunicaciones operadas por VERIZON. Favor mantener una distancia de no menos de 3 pies y obedecer todos los avisos.</p> <p>Comuníquese con el propietario o las propietarias de las antenas antes de trabajar o caminar de menos de 3 pies de la antena.</p> <p>Comuníquese con VERIZON (PHONE#) antes de realizar cualquier mantenimiento a reparaciones cerca de las antenas de VERIZON.</p> <p>Esta es la estacion base numero favor comunicarse con la oficina de la administracion del edificio si esta puerta o compuerta se encuentra sin candado.</p>	<p>NFPA 704 HAZARD IDENTIFICATION SYSTEM 15" DIAMOND</p>  <p>HAZARD RATINGS:</p> <table border="1"> <tr> <td>NINE O'CLOCK: TWELVE O'CLOCK: THREE O'CLOCK: SIX O'CLOCK:</td> <td>HEALTH: FLAMMABILITY: INSTABILITY: SPECIAL</td> </tr> </table> <p>REFERENCES:</p> <p>NFPA 704 UFC 7901.9 IFC 2703.5</p>	NINE O'CLOCK: TWELVE O'CLOCK: THREE O'CLOCK: SIX O'CLOCK:	HEALTH: FLAMMABILITY: INSTABILITY: SPECIAL	 <p>DANGER NO TRESPASSING</p>																
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<p>4 RF WARNING SIGN</p> <p>11x17 SCALE: NTS 22x34 SCALE: NTS</p>	<p>5 INFORMATION SIGN</p> <p>11x17 SCALE: NTS 22x34 SCALE: NTS</p>	<p>6 FUEL STORAGE SIGN</p> <p>11x17 SCALE: NTS 22x34 SCALE: NTS</p>	<p>7 NO TRESPASSING SIGN</p> <p>11x17 SCALE: NTS 22x34 SCALE: NTS</p>																		

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL ADHERE TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE (LATEST EDITION), AND ALL OTHER APPLICABLE CODES AND ORDINANCES AS REQUIRED BY THE JURISDICTION.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND THE CARRIER INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES (LATEST EDITION). SPECIFICATIONS ARE THE RULING DOCUMENTS, AND ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD (EOR) PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE DRAWINGS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FIELD CONDITIONS INCLUDING DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION IS REQUIRED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, AND SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
12. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRIORITY.
13. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
14. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC. MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
15. REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
16. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
17. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMANING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED, LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
18. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS' RECOMMENDATIONS.
19. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
20. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION, EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL, AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
21. LIGHT SHADED LINES AND NOTES REPRESENT WORK PREVIOUSLY DONE. DARK SHADED LINES AND NOTES REPRESENT THE SCOPE OF WORK FOR THIS PROJECT. CONTRACTOR SHALL VERIFY IF EXISTING CONSTRUCTION IS COMPLETE, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
22. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND/OR WIRING CERTIFICATES REQUIRED FOR THE ELECTRICAL SERVICE UPGRADE. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION AND SCHEDULING WITH THE SERVING ELECTRICAL UTILITY AND LOCAL INSPECTION AUTHORITIES.
23. CONTRACTOR TO VERIFY ALL ASPECTS OF THE EXISTING STRUCTURE FOR CONFORMITY WITH THE VALUES SHOWN IN THESE DRAWINGS AND NOTIFY THE E.O.R. IF ANY DISCREPANCIES ARE FOUND. ALL ELEMENTS OF EXISTING STRUCTURE TO REMAIN UNDISTURBED, U.N.O.

SITE WORK NOTES

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
3. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
4. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN FLOODED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ARE ALIVE AND NOTIFIED OF THE EXISTENCE AND THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY NOTIFIED TO THE ENGINEER AND OWNER. THE ENGINEER OR OWNER SHALL BE RESPONSIBLE FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
6. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
7. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
8. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
9. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
10. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
11. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
12. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
13. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
14. CONTRACTOR SHALL CLEAN ENTIRE SITE DAILY AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
15. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
16. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION;

FOUNDATION, EXCAVATION AND BACKFILL NOTES

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL.
2. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLOUDS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF INADEQUATE BEARING CAPACITY IS REACHED AT THE DESIGNED EXCAVATION DEPTH, THE UNSUITABLE SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION, ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
4. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL, SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLOUDS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
5. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED MAXIMUM 6" THICK LIFTS BEFORE COMPACTION, EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D157.
6. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
7. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS; PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
8. NEWLY GRADED SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE TYPAR-3401 AS MANUFACTURED BY "CONSTRUCTION MATERIAL 1-800-239-3841" OR AN EQUIVALENT GEOTEXTILE FABRIC. GEOTEXTILE FABRIC SHALL BE PLACED ON THE GRAVEL TO CONTROL THE RECOLLAPSE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED, I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA.

HARMON TOWERS

verizon

North Group

CAPITAL DESIGN SERVICES
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DRAWING BY: CL
CHECKED BY: CL

DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION
MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE
GENERAL NOTES

SHEET NO.
GN1.0

STRUCTURAL CONCRETE NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 318-14 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE FOR SLABS ON GRADE, SHELTER FOUNDATION, AND PIER FOUNDATIONS FOR FENCES, ICE BRIDGE, AND H-FRAME SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH $f_c' = 3,000$ PSI AT 28 DAYS UNLESS NOTED OTHERWISE. SPECIAL INSPECTION REQUIRED AS NOTED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPlices CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST EARTH.....3 IN.
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER.....2 IN.
 - #5 AND SMALLER & WWF.....1 1/2 IN.
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL.....3/4 IN.
 - BEAMS AND COLUMNS.....1 1/2 IN.
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301, LATEST EDITION, SECTION 4.
- HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
- USE AND INSTALLATION OF CONCRETE ADHESIVE AND EXPANSION/WEDGE ANCHORS SHALL BE PER ICC & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.
- FOUNDATION DESIGN IS BASED ON PRESUMPTIVE SOIL PARAMETERS. IT IS STRONGLY RECOMMENDED THAT INDEPENDENT SOILS TESTING BE PERFORMED BY A LICENSED GEOTECHNICAL ENGINEER TO VERIFY SOIL BEARING CAPACITY, SLOPE STABILITY, AND ALL OTHER RELATED SOIL PARAMETERS.

SPECIAL INSPECTION NOTES

- CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR APPROVED BY CARRIER AND THE LOCAL JURISDICTION, AS REQUIRED BY IBC SECTION 1704 AND 1705 FOR THE FOLLOWING:
 - STRUCTURAL STEEL:
 - ALL HIGH STRENGTH BOLT INSTALLATIONS: BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2, AND N5.6-3 PER AISC 360-10.
 - FIELD WELDING (IF UTILIZED).
 - BOLTS AND ANCHORS IN CONCRETE:
 - RETROFIT ANCHORS IN CONCRETE (ADHESIVE/EPOXY, EXPANSION, WEDGE, OR SCREW TYPE ANCHORS): INSPECT SIZE, LENGTH, CLEANLINESS, AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.
 - CONCRETE CONSTRUCTION:
 - VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC SECTION 1705, TABLE 1705.3.

SPECIAL INSPECTION NOTES

- PROVIDE SPECIAL INSPECTIONS FOR OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.
- CONTINUOUS THIRD PARTY SPECIAL INSPECTION REQUIRED FOR ALL BELZONA 1111 MOUNTED PLATES AND HARDWARE.

INSPECTION OF HIGH-STRENGTH BOLTING (PER AISC 360-16, SECTION N5):

OBSErvATION OF BOLTING OPERATIONS SHALL BE THE PRIMARY METHOD USED TO CONFIRM THAT THE MATERIALS, PROCEDURES AND WORKMANSHIP INCORPORATED IN CONSTRUCTION ARE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE PROVISIONS OF THE RCSC SPECIFICATION.

- (1) FOR SNUG-TIGHT JOINTS, PRE-INSTALLATION VERIFICATION TESTING AS SPECIFIED IN TABLE N5.6-1 AND MONITORING OF THE INSTALLATION PROCEDURES AS SPECIFIED IN TABLES N5.6-2 ARE NOT APPLICABLE. THE QCI AND QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS IN SNUG-TIGHT JOINTS.
- (2) FOR PRETENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE TURN-OF-NUT METHOD WITH MATCHMARKING TECHNIQUES, THE DIRECT-TENSION-INDICATOR METHOD, OR THE TWIST-OFF-TYPE TENSION CONTROL BOLT METHOD, MONITORING OF BOLT PRETENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QCI AND QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.
- (3) FOR PRETENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE CALIBRATED WRENCH METHOD OR THE TURN-OF-NUT METHOD WITHOUT MATCHMARKING, MONITORING OF BOLT PRETENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QCI AND QAI SHALL BE ENGAGED IN THEIR ASSIGNED INSPECTION DUTIES DURING INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.

AS A MINIMUM, BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2 AND N5.6-3. IN THESE TABLES, THE INSPECTION TASKS ARE AS FOLLOWS:

- O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS.
- P - PERFORM THESE TASKS FOR EACH BOLTED CONNECTION.
- QC - QUALITY CONTROL TASKS TO BE PERFORMED BY STEEL FABRICATOR OR ERECTOR
- QA - QUALITY ASSURANCE TASKS TO BE PERFORMED BY A SPECIAL INSPECTION AGENCY OR INDIVIDUALS DEFINED BY AWS B5.1, OR INDIVIDUALS QUALIFIED UNDER THE PROVISIONS OF AWS D1.1/D1.1M SUBCLAUSE 6.1.4

TABLE N5.6-1; INSPECTION TASKS PRIOR TO BOLTING

INSPECTION TASKS PRIOR TO BOLTING	QC	QA
MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	O	P
FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS	O	O
PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE)	O	O
PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL	O	O
CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS	O	O
PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED	P	O
PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS, AND OTHER FASTENER COMPONENTS	O	O

TABLE N5.6-2; INSPECTION TASKS DURING BOLTING

INSPECTION TASKS DURING BOLTING	QC	QA
FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED	O	O
JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION	O	O
FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING	O	O
FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH THE RCSC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	O	O

TABLE N5.6-3; INSPECTION TASKS AFTER BOLTING

INSPECTION TASKS DURING BOLTING	QC	QA
DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	P	P

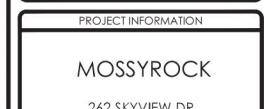
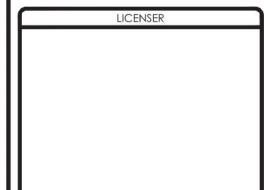
REQUIRED STRUCTURAL OBSERVATION

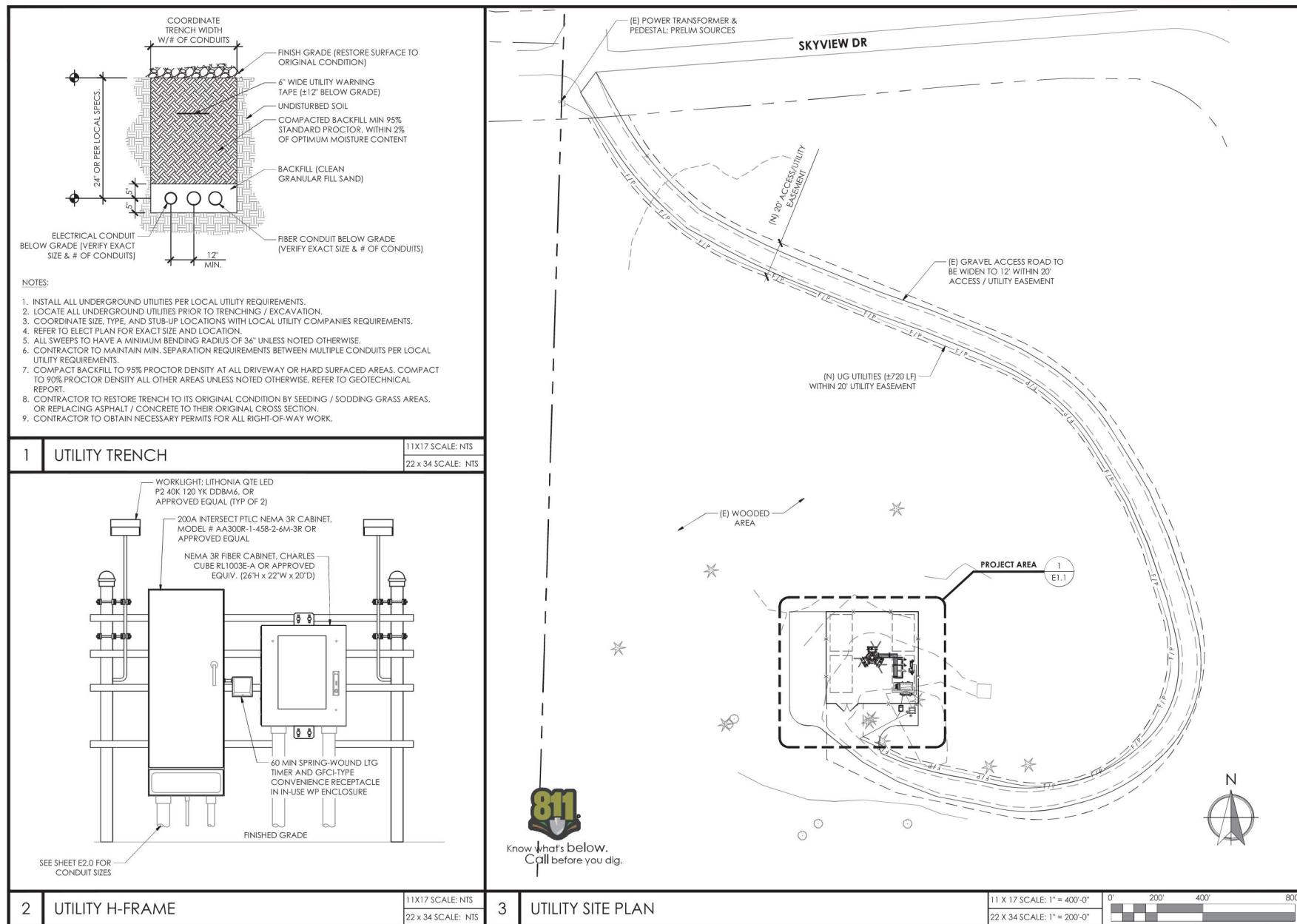
STRUCTURAL OBSERVATION FOR SEISMIC RESISTANCE; STRUCTURE HEIGHT > 75' PER IBC 1704.5.1

DRAWING ABBREVIATIONS			
AFF	ABOVE FINISH FLOOR	LF	LINEAR FEET
AGL	ABOVE GRADE LEVEL	MAX	MAXIMUM
AWG	AMERICAN WIRE GAUGE	MECH	MECHANICAL
AC	AIR CONDITIONING	MFR	MANUFACTURER
ADJ	ADJUSTABLE	MGR	MANAGER
APPROX	APPROXIMATELY	MIN	MINIMUM
AZ	AZIMUTH	MSC	MISCELLANEOUS
BLDG	BUILDING	MTL	METAL
CM	CONSTRUCTION MANAGER	MTZL	METALIZ(E)D
CAB	CABINET	MW	MICROWAVE
CL	CENTERLINE	NEC	NATIONAL ELECTRICAL CODE
CLG	CEILING	(N)	NEW
CLR	CLEAR	NIC	NOT IN CONTRACT
CO	COPPER	NTS	NOT TO SCALE
CONC	CONCRETE	N/A	NOT APPLICABLE
COND	CONDUIT	OC	ON CENTER
CONST	CONSTRUCTION	OD	OUTSIDE DIAMETER
CONT	CONTINUOUS	OP	OVERHEAD POWER
DEMO	DEMOLISH	OT	OVERHEAD FIBER
DIA	DIAMETER	OPP	OPPOSITE
DIM	DIMENSION	PL	PROPERTY LINE
DN	DOWN	PLYWD	PLYWOOD
DTL	DETAIL	PM	PROJECT MANAGER
DWG	DRAWING	PROP	PROPERTY
EA	EACH	PT	PRESSURE TREATED
ELECT	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION	ROW	RIGHT OF WAY
EOR	ENGINEER OF RECORD	RRU/RRH	REMOTE RADIO UNIT
EQ	EQUAL	REQ	REQUIRED
EQUIP	EQUIPMENT	SBTC	SOLID BARE TINNED COPPER
(E)	EXISTING	SF	SQUARE FEET
EXT	EXTERIOR	SHT	SHEET
FIN	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FT	FOOT, FEET	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURE, STRUCTURAL
GC	GENERAL CONTRACTOR	TOC	TOP OF CONCRETE
GWB	GYPSUM WALL BOARD	TOM	TOP OF MASONRY
GR	GRADE	THRU	THROUGH
GRND	GROUND	TNND	TINNED
HVAC	HEATING, VENTING & AIR CONDITIONING	TYP	TypICAL
HORIZ	HORIZONTAL	UG	UNDERGROUND
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	UP	UNDERGROUND POWER
ID	INSIDE DIAMETER	UF	UNDERGROUND FIBER
IN	INCH	VIF	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	WP	WATERPROOF
JBOX	JUNCTION BOX	W/	WITH
LBS(I)	POUND(S)	W/O	WITHOUT



DRAWING VERSION	VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS	







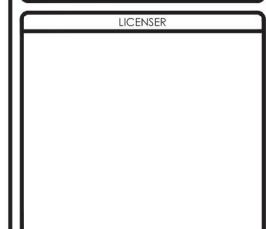
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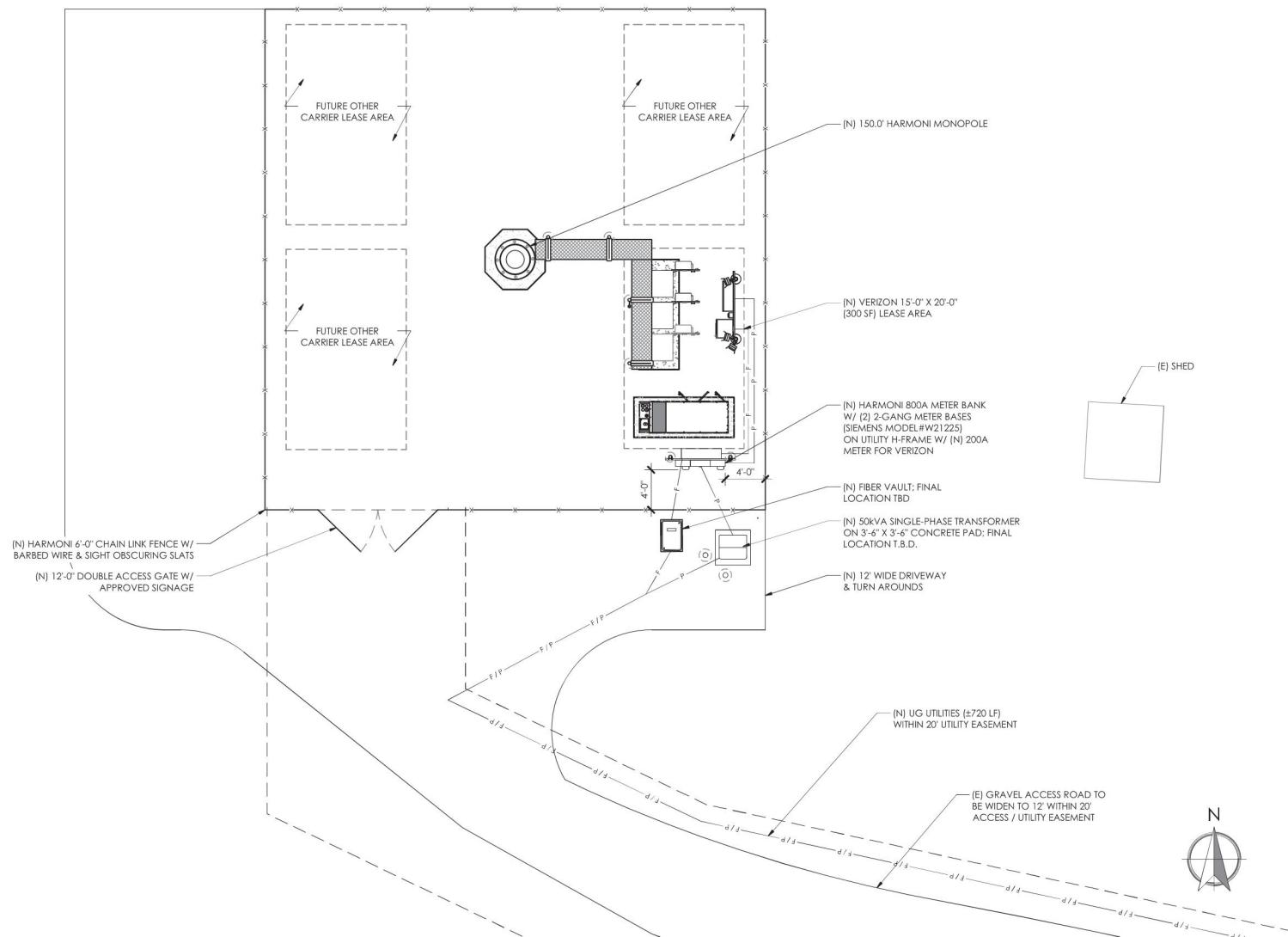
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VER.	DATE	DESCRIPTION
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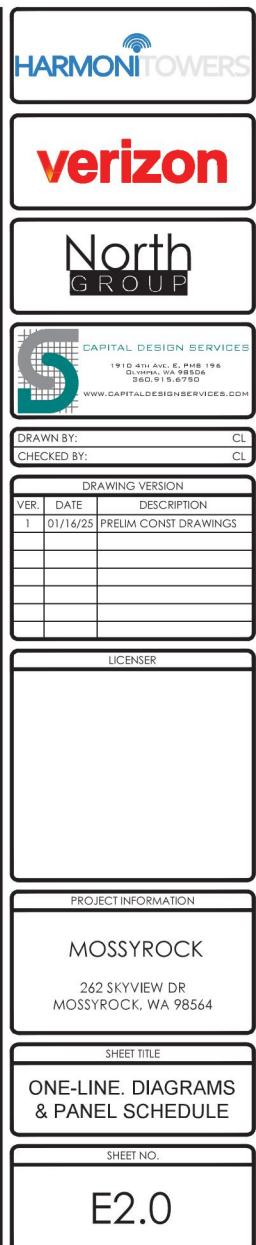
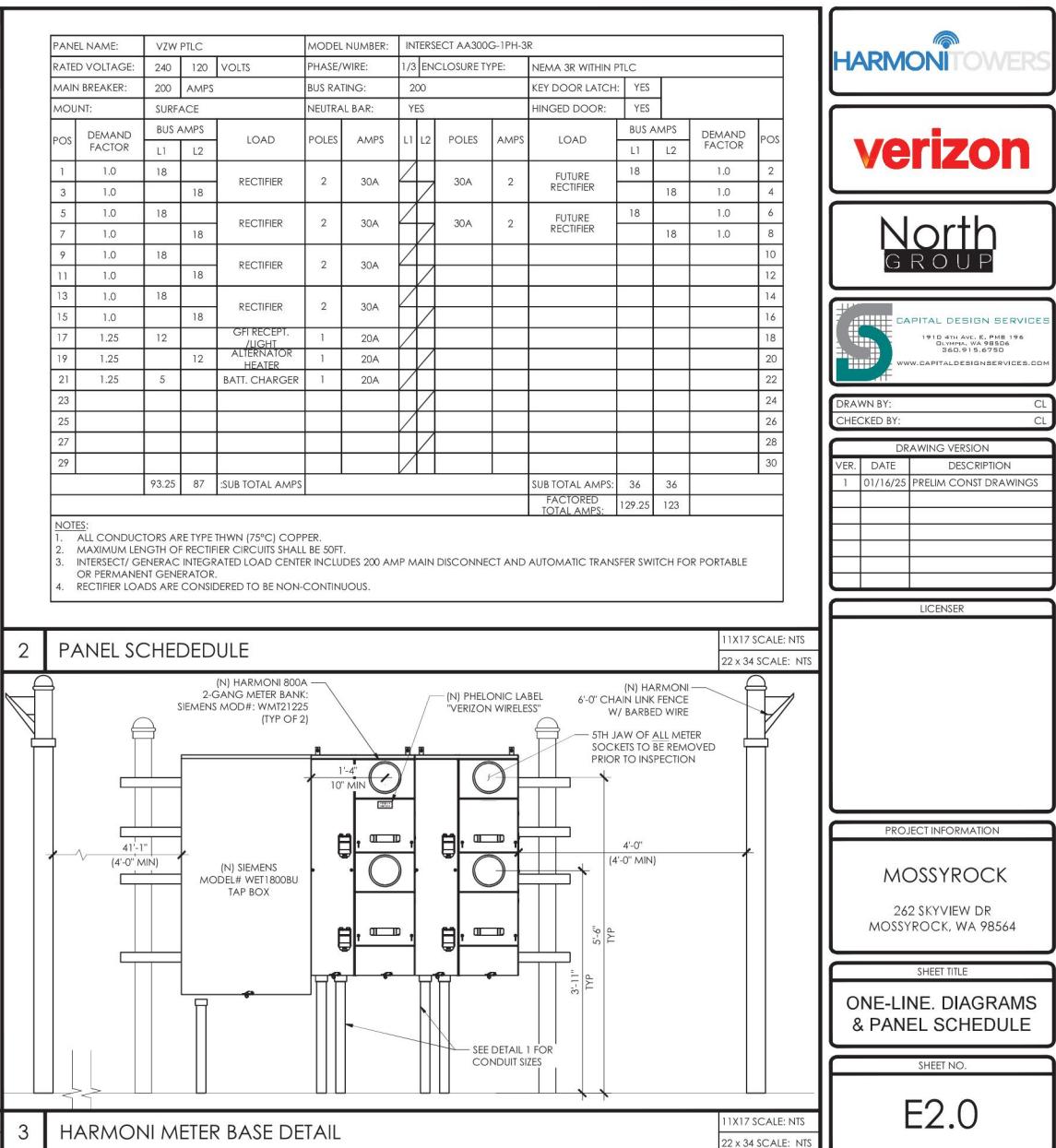
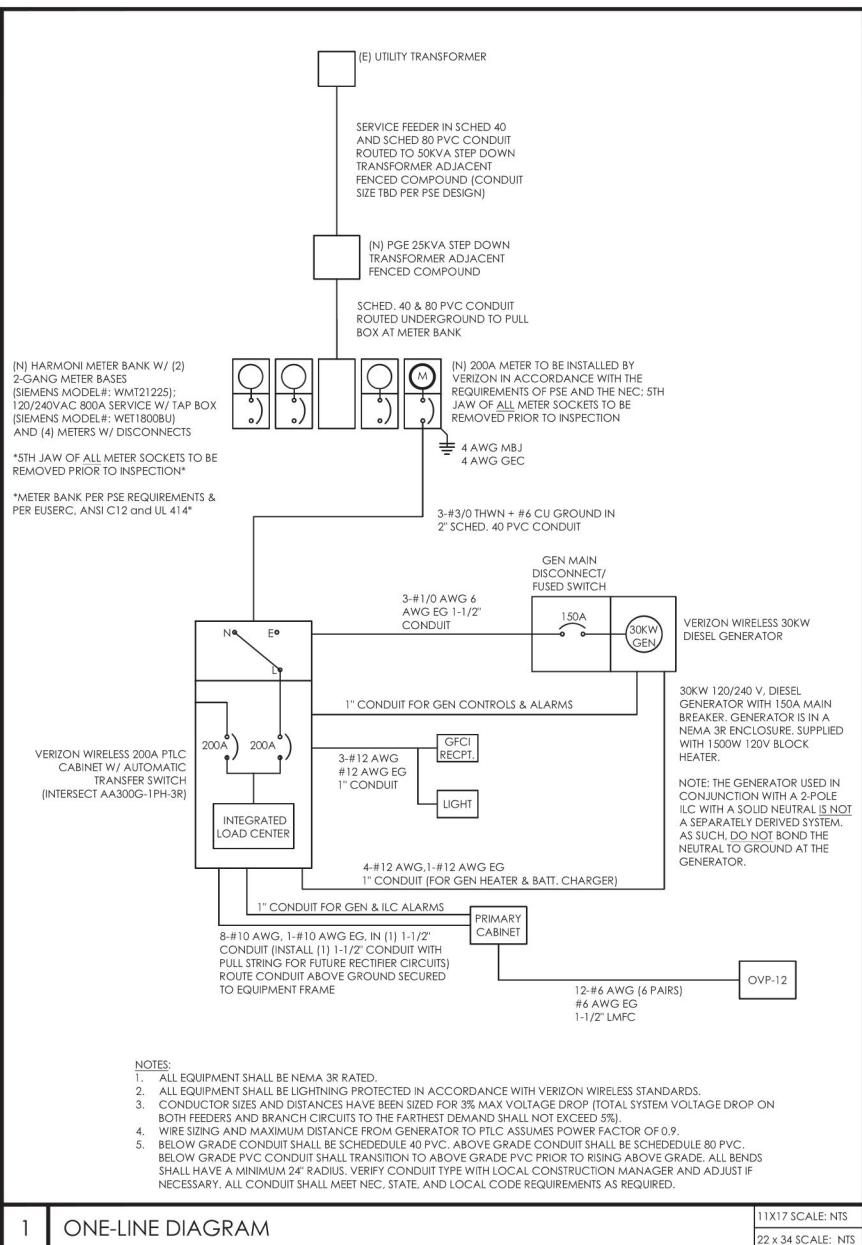


PROJECT INFORMATION
MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE
ENLARGED
UTILITY SITE PLAN

SHEET NO.
E1.1





1. DESCRIPTION OF GROUNDING DESIGN IS FOR CONCEPTUAL PURPOSES ONLY. CONTRACTOR TO DETERMINE FINAL ROUTING PER EXISTING SITE CONDITIONS.
2. GROUNDING SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
3. ALL GROUNDING SHALL CONFORM TO THE CURRENT CARRIER STANDARDS.
4. MINIMUM BENDING RADIUS FOR GROUND CONDUCTOR IS 8'. WHEN BENDING IS NECESSARY, GROUND CONDUCTORS ARE TO BE AS STRAIGHT AS POSSIBLE.
5. ALL ABOVE GRADE GROUND LEADS TO BE SHEATHED IN CARFLEX-X-FLEX™ FLEXIBLE CONDUIT OR APPROVED EQUAL.
6. ALL GROUND BAR CONNECTIONS ARE TO BE 2 HOLE LUG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
7. NO SPLICES PERMITTED IN GROUND CONDUCTORS.
8. ALL GROUNDING CONNECTORS TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE PENETROX OR APPROVED EQUAL ANTI-OXIDANT GREASE.
9. ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
10. MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6'.
11. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
12. GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
13. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUND WIRE SHALL NOT BE USED. METAL CLIPS THAT DO NOT COMPLETELY SURROUND THE GROUND WIRE OR PLASTIC CLIPS ARE ACCEPTABLE.
14. ALL OUTDOOR CONNECTIONS TO BE EXOTHERMIC CADWELD. INTERIOR CONNECTIONS CAN BE A PROPERLY APPLIED CRIMP TYPE UNLESS OTHERWISE SPECIFIED.
15. GROUND BARS SHALL NOT BE FIELD MODIFIED.
16. ALL HORIZONTAL FENCE SECTIONS TO BE GROUNDED WITH 8" SINGLE BARREL GROUND STRAPS.
17. GROUND RING BURIAL DEPTH SHALL BE 24" AND HAVE A NON-DIRECTIONAL SPLICE.
18. A CERTIFIED CONTRACTOR WILL MAKE ALL MEASUREMENTS REQUIRED TO TEST THE GROUNDING SYSTEM, USING A MEGGER OR EQUIVALENT. THE ACCEPTABLE RESISTANCE MEASURED FOR THE GROUNDING SYSTEM WILL NOT EXCEED 5 OHMS RESISTANCE. THREE DISTANCES SHALL BE USED: 1 AT 100 FEET, 2 AT 70 FEET, AND 3 AT 35 FEET. THESE TESTS ARE SUBJECT TO A SITE BY SITE BASIS. VERIZON WIRELESS SHALL BE GIVEN 24 HOURS NOTICE BEFORE TESTING IS TO BE DONE. THE COST ASSOCIATED WITH GROUND TESTING WILL BE AT THE EXPENSE OF THE CONTRACTOR.
19. PROVIDE #2 TW GREEN JUMPER FROM EACH CABLE BRIDGE POST TO CABLE BRIDGE CHANNEL.

LEGEND

- ⊗ GROUND TEST WELL
- GROUND ROD
- CAD WELD CONNECTION
- ▲ MECHANICAL CONNECTION (DOUBLE HOLE LUG)
- CONNECT PER MFR SPECIFICATIONS
- GB GROUND BAR

1 GROUNDING PLAN

PROVIDE 5/8" X 8'-0" COPPER CLAD GROUND RODS. EXACT LOCATION OF GROUND RODS TO BE ESTABLISHED ON SITE; INSTALL APPROX. EVERY 10'-0" (8'-0" MIN./15'-0" MAX.)

GROUND TEST WELL:
FINAL LOCATIONS PER SITE CONDITIONS
(TYP OF 2)

#2 AWG SBTG EQUIP. PAD GROUND RING, GROUND RING BURIAL DEPTH SHALL BE 24" AND HAVE A NON-DIRECTIONAL SPLICE

GROUND AND BRIDGE EACH GATE POST

PROVIDE NEW SERVICE GROUND PER NEC AND LOCAL CODES FOR (N) METER BANK AND DISCONNECT

#2 AWG SBTG MONPOLE GROUND RING,
24" BELOW FINISHED GRADE



11X17 SCALE: NTS
22 x 34 SCALE: NTS

HARMONITOWERS

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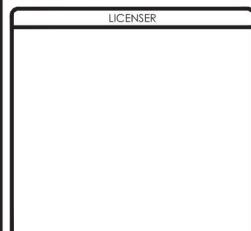
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CAPITAL DESIGN SERVICES
1910 21st AV. E. PHR 196
OLYMPIA, WA 98504
360.915.6750
www.capitaldesignservices.com

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VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

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PROJECT INFORMATION

MOSSYROCK

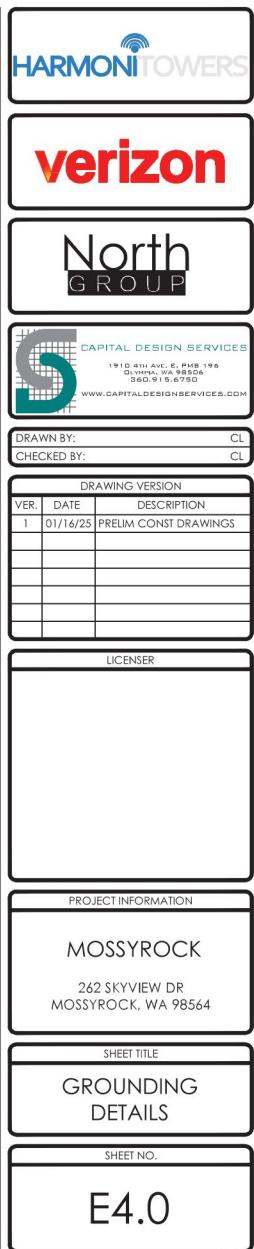
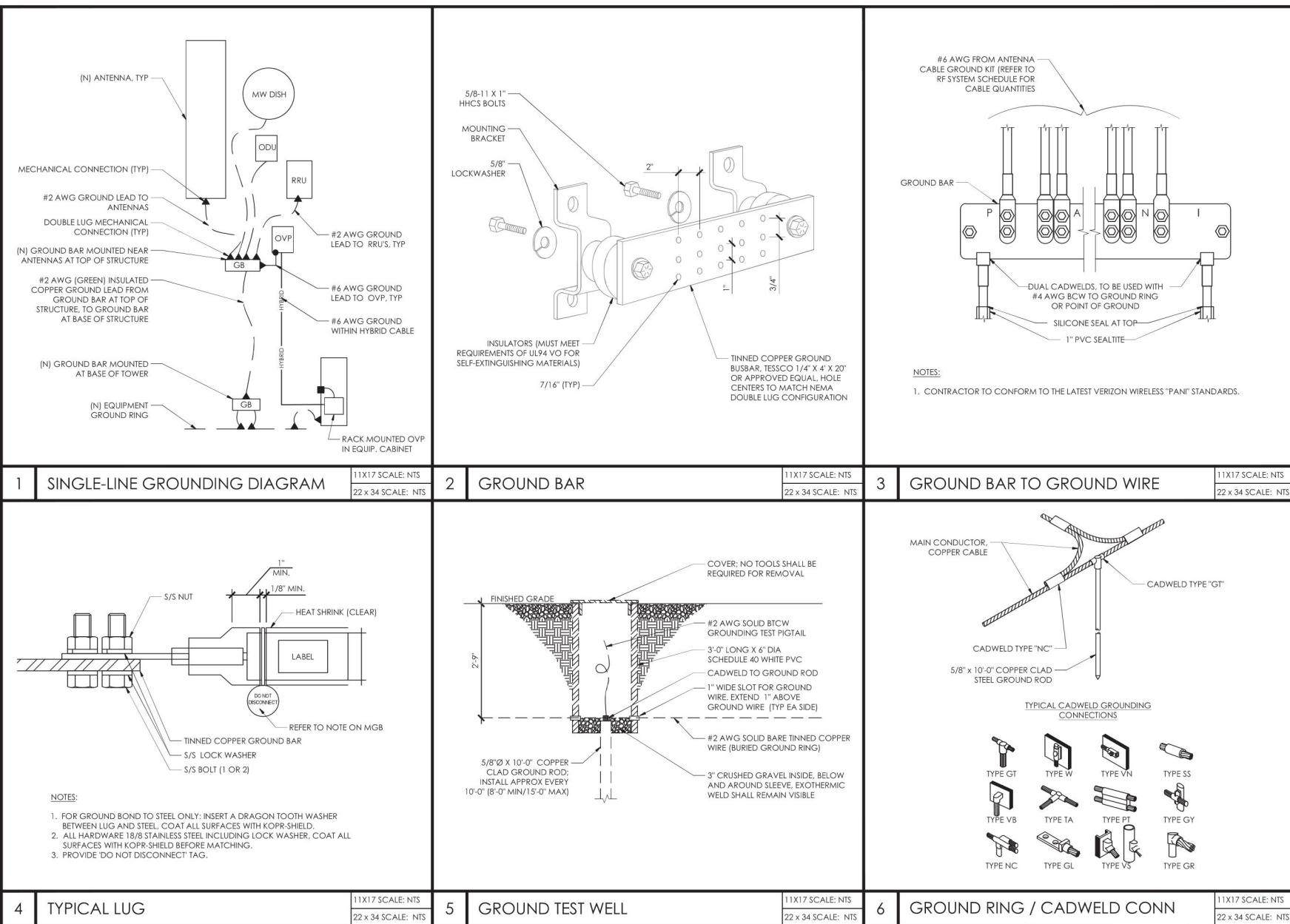
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

GROUNDING PLAN

SHEET NO.

E3.0



1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY VZW CONSTRUCTION MANAGER AS SOON AS POSSIBLE AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE CONSTRUCTION MANAGER HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING THE INSTALLATION OF PROPOSED ELECTRICAL AND COMMUNICATION CIRCUITS AND EQUIPMENT AND SHALL MAKE PROVISIONS FOR THE COST THEREOF. ALL EXISTING CONDITIONS OF EXISTING ELECTRICAL EQUIP., LIGHT FIXTURES, ETC. IF ANY, THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AS ADOPTED BY THE LOCAL AHJ AS WELL AS ALL LOCAL CODES AND ORDINANCES OF THE LOCAL AUTHORITY HAVING JURISDICTION. THIS WORK SHALL BE GOVERNED BY:
 - A. UL -- UNDERWRITERS LABORATORIES
 - B. NEC -- NATIONAL ELECTRICAL CODE
 - C. NEMA -- NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION STANDARDS
 - D. OSHA -- REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT
 - E. IBC -- INTERNATIONAL BUILDING CODE
 - F. NFPA -- NATIONAL FIRE PROTECTION ASSOCIATION
 - G. IEEE -- INSTITUTE OF ELECTRICAL & ELECTRONICS ENGINEERS STANDARDS
4. DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO DIMENSIONED SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT AND CONFIRM WITH CONSTRUCTION MANAGER ANY SIZES AND LOCATIONS WHEN UNCLEAR.
5. EXISTING SERVICES: CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION OF PROPERTY OWNERS.
6. CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO ORDERING EQUIPMENT OR STARTING THE WORK.
7. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE UNDERSTOOD TO MEAN THAT THE CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT.
8. CONTRACTOR SHALL CONFIRM WITH LOCAL ELECTRIC UTILITY COMPANY ANY/ALL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER PRIOR TO BEGINNING ANY WORK.
9. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH XHHW-2 INSULATION.
10. OUTLET BOXES SHALL BE CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS AS SHOWN ON THE DRAWINGS.
11. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
12. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED BY SPECIFICATIONS SET FORTH BY VERIZON WIRELESS.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY CONSTRUCTION MANAGER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
15. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN TWO YEAR FROM DATE OF CUSTOMER'S ACCEPTANCE.
16. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE WITHIN 48 HOURS OF NOTICE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREIN.
17. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
18. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
19. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION, BACKFILLING, COMPACTION AND REPAIR OF SURFACE TO ORIGINAL CONDITION. REFER TO DRAWING DETAIL AS WELL AS NOTES AND REQUIREMENTS: EXCAVATION, AND BACKFILLING.
20. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW, SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.



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VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

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PROJECT INFORMATION	
MOSSYROCK	262 SKYVIEW DR MOSSYROCK, WA 98564

SHEET TITLE	
GENERAL	GENERAL ELECTRICAL NOTES

SHEET NO.

E5.0

Lewis County Community Development

125 NW Chehalis Ave, Chehalis, WA 98532 • Phone: (360) 740-1146 • www.lewiscountyywa.gov

Master Site Plan Application

For a complete Master Site Reivew application, you will need:

- Completed 'Master Site Plan Application'
- Site plan that includes all items listed on the 'Site Plan Requirements' handout (attached)
- Associated fees: \$450 Master Site Review / \$150 Minor Review Fee (Fee Includes \$50 Administrative Fee)

RECEIVED

By Mollie Hurt at 12:08 pm, Mar 03, 2025

Full Project Description: Installation of a wireless communication facility consisting of a new 150' +

Tax Parcel Number (s): 028513011000

Site Address: 262 SKYVIEW DR MOSSYROCK, WA 98564

Owner's Name: KEVIN RIFFLE

Owner's Address: 8025 124TH AVE NE KIRKLAND WA 98033

Owner's Phone Number: 425-445-4000 Owner's Email: kevinriffle@live.com

Applicant Information:

Name: Bill North, for Harmoni Towers and Verizon Wireless

Mailing Address: PO Box 2449 Snohomish, WA 98291

Phone Number: 425-876-2909 E-mail: billnorth@northgroup.net

Acknowledgment

I understand that County regulations require owner permission for County personnel to enter private property to conduct permit processing, review, and inspections. I also understand that my failure to grant permission to enter may result in denial or withdrawal of a permit or approval. By my signature below, permission is granted for representatives of the Community Development, Environmental Services, and Public Works Department to enter and remain on and about the property for the sole purpose of processing such permits and performing required inspections or reviews.

I/We certify that all plans, specifications and other submissions required in support of this application conform to the requirements of all federal, state, and local codes and applicable laws and ordinances; and I certify that I am either the current legal owner of this property or their authorized representative. With this document, I take full responsibility for the lawful action that this document allows.

I certify that I have read and understand the limitations and conditions of Lewis County Code and agree to comply with all conditions of approval. I understand that any permits issued by Lewis County, consistent with the attached site plan, are valid ONLY if construction is in according to this plan and all other conditions of the permit are followed. By my signature below, I affirm that all the information and documents provided with this application are true and accurate to the best of my knowledge.

Signature: Bill North

Digitally signed by Bill North
Date: 2025.03.02 12:02:32 -08'00'

Date: 3/2/25

Check one: Owner

Authorized Agent