

Lewis County Master Site Review



Community Development • 125 NW Chehalis Ave, Chehalis, WA 98532 • Phone: (360) 740-1146

Step 1 Site Analysis Status: **CONDITIONALLY APPROVED**

Parcel Number(s): 028513011000

Master Site Review #: MSR25-0118

Applicant's Name: NORTH GROUP, INC

Review #: 1

Project Proposal: Installation of a wireless communication facility consisting of a new 150' monopole with attached antennas and cabling along with ground mounted equipment cabinets and generator placed within a 50'x50 fenced area.

Associated Planning Permits: None

Zoning: Rural Development District (RDD-5)

Conditions of Approval

- 1 Any change in the project from the current proposal requires further review.
- 2 All other required local, state, and federal permits are required to be obtained by the applicant including all permits listed on page two of this Master Site Review.
- 3 A Type III Wireless Communication Facility (WCF) Application is required.
- 4 The State Environmental Policy Act Checklist (SEPA) is required to be submitted with your WCF Application.
- 5 A Geotechnical Report is required for the proposal. The Geotechnical Report can be submitted with the WCF Application or be made a condition of approval of the WCF Application approval. The Geotechnical Report will need to include any improvements to the access road that are required for emergency services access.
- 6 A Stormwater Permit is required if the total amount of new impervious surface exceeds 5,000 square feet, including the access.

The recommendations and requirements in the following reports may be conditions of development:

None

The current proposal is in compliance with the Critical Area Ordinance. If the project changes from the current scope, a review of the following critical areas may be required.

- Geologically Hazardous Areas Review – due to the proximity of the site to steep slopes, erosion hazard areas and/or historic landslide areas.
- Geologically Hazardous Areas Review – due to the proximity of the site to an Erosion Hazard Area

The following notices are provided for the proposal:

- The subject property is within or near land designated for long-term commercially significant resource use in which natural resource activities are permitted and encouraged, including a variety of activities that may not be compatible with residential or other types of development. These activities may be conducted over periods that extend beyond the normal workday and/or work week and produce noise, dust, smoke, visual impacts, and odors. When performed in accordance with best management practices, these resource utilization activities are to be expected and shall not be subject to legal action or public nuisance.

Final Planning Approval

Review Approved by:  Date: 04/09/2025

Review Completed By: Preston Pinkston, Planner

Step 2: Site Permitting

Required applications for the proposal described (more applications/information may be required after further review):

Community Development

☒ Address

Public Health and Social Services

☐ Well Site Inspection

Public Works

☐ Road Approach

☐ None, the proposal can submit the building permitting requirements

Step 3: Development Permitting

Required applications for the proposal described (more applications/information may be required after further review):

Water

- ☐ Well Log for Individual Well
- ☐ Water Availability Notification
- ☐ Municipal WAN
- ☐ Two Party/Shared Well
- ☐ Group B Well
- ☐ Arsenic Testing
- ☐ Water Purveyor Consent Form

Sewage Disposal

- ☐ Septic Permit
- ☐ Septic Connection/Reconnection
- ☐ Sewer Availability

Other

- ☒ WCF Application
- ☒ SEPA
- ☒ Fill and Grade
- ☒ Stormwater

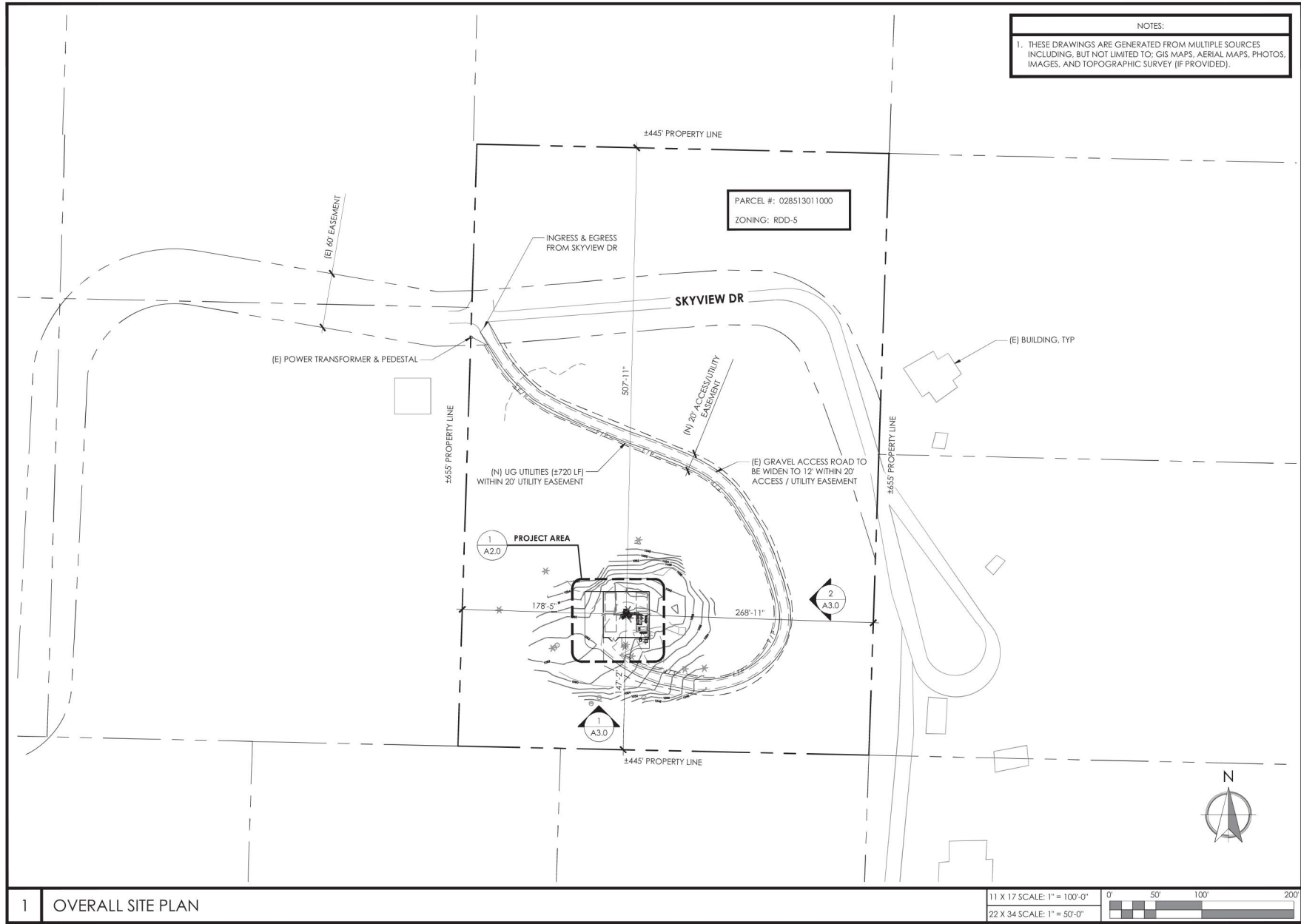
Building

- ☒ Building or Placement Permit
- ☐ Building (Change of Use)
- ☒ Improvements Necessary for Fire Access
- ☐ Demolition Permit
- ☐ Energy Code Compliance

****Building may require engineering depending on plans***

WRIA: 26 Cowlitz

**If the well is drilled after January 19, 2018 and you are located in the Chehalis (23), Nisqually (11) or Deschutes Water Basin(13), a \$500 fee and covenant restricting water usage may apply*



HARMONI TOWERS

verizon

North GROUP

CAPITAL DESIGN SERVICES
1910 4TH AVE. E. PHB 198
OLYMPIA, WA 98506
360.915.6750
WWW.CAPITALDESIGNSERVICES.COM

DRAWN BY: CL
CHECKED BY: CL

DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

OVERALL SITE PLAN

SHEET NO.

A1.0

PROJECT SCOPE

PROPOSED INSTALLATION OF A TELECOMMUNICATIONS FACILITY ON AN EXISTING PARCEL.

- 50.0' X 50.0' (2,500 SF) LEASE AREA
- 6.0' TALL CHAIN-LINK FENCE W/ GREEN PRIVACY SLATS & 12.0' WIDE DUAL SWING ACCESS GATE AROUND LEASE AREA
- (4) EQUIPMENT AREAS, (3) FOR FUTURE CARRIERS
- (1) UTILITY H-FRAME W/ (4) METER BASE CAPACITY
- (1) 150.0' MONOPOLE WITHIN FENCED LEASE AREA
- (1) ANTENNA MOUNTING ASSEMBLY, ANTENNAS, RADIOS, CABLES & GROUND SITE SUPPORT EQUIPMENT
- PROPOSED INSTALLATION OF A NEW 800A ELECTRICAL SERVICE

HARMONI

TOWERS

MOSSYROCK

262 SKYVIEW DR

MOSSYROCK, WA 98564

HARMONI SITE #: WA0007224

CONSTRUCTION DRAWINGS

SHEET INDEX

T1.0TITLE SHEET

SV1SURVEY

SV2SURVEY

SV3SURVEY

A1.0OVERALL SITE PLAN

A2.0ENLARGED EXISTING SITE PLAN

A2.1ENLARGED PROPOSED SITE PLAN

A3.0ELEVATIONS

A4.0FENCE DETAILS

A5.0CONSTRUCTION DETAILS

A5.1CONSTRUCTION DETAILS

A6.0SITE SIGNAGE DETAILS

A6.1SITE SIGNAGE DETAILS

GN1.0GENERAL NOTES

GN2.0GENERAL NOTES

E1.0UTILITY SITE PLAN

E1.1ENLARGED UTILITY SITE PLAN

E2.0ONE-LINE DIAGRAM & PANEL SCHEDULE

E3.0GROUNDING PLAN

E4.0GROUNDING DETAILS

E5.0GENERAL ELECTRICAL NOTES

PROJECT CONTACTS

APPLICANT:
ATTENTION: HARMONI TOWERS/
PARALLEL INFRASTRUCTURE
6210 ARDREY KELL RD, SUITE 450
CHARLOTTE, NC 28277-4864
CHAD RUMSEY
PH: 857.756.9022

PROPERTY OWNER:
KEVIN RIFFLE
PH: 425.445.4000

TOWER OWNER:
ATTENTION: HARMONI TOWERS/
PARALLEL INFRASTRUCTURE
6210 ARDREY KELL RD, SUITE 450
CHARLOTTE, NC 28277-4864
CHAD RUMSEY
PH: 857.756.9022

SITE ACQUISITION AGENT:
NORTH GROUP
P.O. BOX 2449
SNOHOMISH, WA 98291
BILL NORTH
PH: 425.876.2909

ZONING/PERMITTING AGENT:
NORTH GROUP
P.O. BOX 2449
SNOHOMISH, WA 98291
RACHEL NORTH
PH: 425.280.1376

SURVEYOR:
DUNCANSON
145 SW 155TH STREET, SUITE 102
SEATTLE, WA 98166
PH: 206.244.4141

ENGINEER OF RECORD:
VECTOR STRUCTURAL ENGINEERING
651 W. GALENA PARK BLVD., SUITE 101
DRAPER, UT 84020
WELLS L. HOLMES, SE
PH: 801.990.1775

PROJECT INFORMATION

SITE NAME:
ADDRESS:
JURISDICTION:
PARCEL #:
ZONING:

MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564
LEWIS COUNTY
028513011000
RDD-S

LATITUDE:
LONGITUDE:

46° 32' 44.85" N
122° 30' 16.60" W
(46.545793°)
(-122.504611°)

SOURCE:
GROUND ELEVATION:

1A CERTIFICATION
1061.8'

(N) STRUCTURE HEIGHT:
(N) GROUND LEASE AREA:

150.0' AGL
2,500 SQ FT

OCCUPANCY:
GROUP:

U
II-B

DRIVING DIRECTIONS

FROM VERIZON OFFICE IN PORTLAND, OREGON:

1. HEAD EAST TOWARD 158TH AVE SE

2. TURN RIGHT ONTO 158TH AVE SE

3. TURN RIGHT ONTO SE EASTGATE WAY

4. TURN LEFT ONTO THE I-90 W RAMP TO SEATTLE

5. SLIGHT RIGHT ONTO THE 150TH AVE SE RAMP

6. TAKE THE RAMP ONTO I-90

7. MERGE ONTO I-90 W

8. USE THE RIGHT LANE TO MERGE ONTO I-5 S

9. TAKE EXIT 68 FOR US 12 E TOWARD MORTON/YAKIMA

10. TURN LEFT ONTO US-12 E

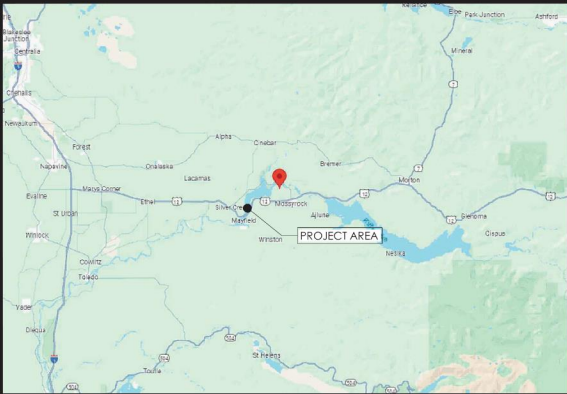
11. TURN LEFT ONTO BIRLEY RD

12. TURN RIGHT ONTO SKYVIEW DR

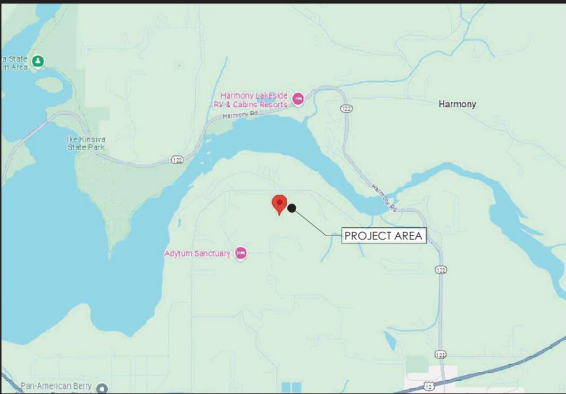
13. TURN LEFT TO STAY ON SKYVIEW DR

TOTAL MILES: 120 MILES

VICINITY MAP



LOCALIZED MAP



GOVERNING CODES

2021 INTERNATIONAL BUILDING CODE

2021 INTERNATIONAL MECHANICAL SPECIALITY CODE

2021 INTERNATIONAL FIRE CODE

2020 NFPA 70 NATIONAL ELECTRICAL CODE (NEC)

2021 WASHINGTON STATE ENERGY CODE

A.D.A. COMPLIANCE
INSTALLATION IS UNMANNED / NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED PER A.D.A.

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TOWERS

verizon

North GROUP

CAPITAL DESIGN SERVICES

1910 4TH AVE., E. PH# 198
OLYMPIA, WA 98554
360.915.6750
WWW.CAPITALDESIGNSERVICES.COM

DRAWN BY:

CL

CHECKED BY:

CL

DRAWING VERSION

VER.

DATE

DESCRIPTION

1

01/16/25

PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

TITLE SHEET

SHEET NO.

T1.0

PARENT PARCEL LEGAL DESCRIPTION

THAT PORTION OF SECTION 12, TOWNSHIP 12 NORTH, RANGE 2 EAST, W.M., LEWIS COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 12; THENCE SOUTH 01°39'43" WEST 662.13 FEET ALONG THE WEST LINE OF SAID SECTION;
THENCE SOUTH 88°45'32" EAST 1578.6 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING SOUTH 88°45'32" EAST 451.03 FEET;
THENCE NORTH 01°39'43" EAST 483.02 FEET;
THENCE NORTH 88°45'31" EAST 452.33 FEET;
THENCE SOUTH 01°27'57" WEST 483 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT OVER EXISTING GRAVEL ROADS LEADING FROM BIRLEY COUNTY ROAD TO AND THROUGH THE ABOVE DESCRIBED PROPERTY.

TITLE EXCEPTIONS:

DUNCANSON COMPANY HAS RECEIVED AND REVIEWED THE TITLE COMMITMENT PREPARED BY TITLE GUARANTY COMPANY (CHICAGO TITLE INSURANCE COMPANY) DATED EFFECTIVE MARCH 22, 2024, BEING COMMITMENT NO. 181300, FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

SCHEDULE B, PART II
12. OBLIGATION OF MEMBERSHIP TO LAND OWNER'S ASSOCIATION AS DISCLOSED BY INSTRUMENT RECORDED JUNE 29, 1978 UNDER AUDITOR'S FILE NO. 848411 AND OTHER CONVEYANCE OF RECORD IN THE DEVELOPMENT, BLANKET IN NATURE, AFFECTS ENTIRE PARENT PARCEL, LEASE AREA AND ACCESS AND UTILITY EASEMENT.

13. MINERAL RESERVATIONS CONTAINED IN DEED EXECUTED BY : WILLIAM B. LUDWIG AND JUANITA LUDWIG RECORDED : SEPTEMBER 16, 1953
AUDITOR'S NO. : 523612
THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
AFFECTS ENTIRE PARENT PARCEL, LEASE AREA AND ACCESS AND UTILITY EASEMENT.

14. MINERAL RESERVATIONS CONTAINED IN DEED EXECUTED BY : WILLIAM F. BOLEAU AND RUBY OPAL BOLEAU RECORDED : MAY 15, 1961
AUDITOR'S NO. : 625063
THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
AFFECTS ENTIRE PARENT PARCEL, LEASE AREA AND ACCESS AND UTILITY EASEMENT.

LATITUDE/LONGITUDE POSITION

COORDINATE DATA AT CENTER OF PROPOSED MONOPOLE
LOCATION:
NAD 83/91
LAT - 46°32'44.85" N
LONG - 122°30'16.60" W
NAVJ 88
ELEV. = 1061.8 FEET
LAT - 46.545793° N
LONG - 122.504611° W



BENCHMARK IS "SWWA" BASED ON WSRN PUGET SOUND REFERENCE NETWORK.
ELEVATION DERIVED USING GPS. ACCURACY MEETS OR EXCEEDS 1A STANDARDS AS DEFINED ON THE FAA ASAC INFORMATION SHEET 91-003.

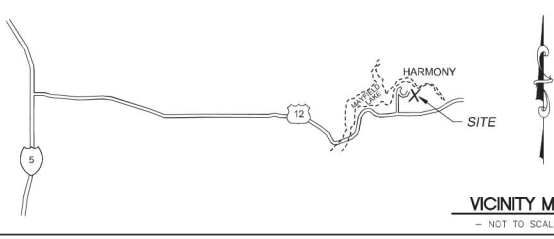
NOTES

- 1) TITLE COMMITMENT ISSUED BY TITLE GUARANTY COMPANY (CHICAGO TITLE INSURANCE COMPANY), ORDER NO. 181300, DATED MARCH 22, 2024.
- 2) FEE OWNER: KEVIN RIFFLE AND JENNIFER RIFFLE.
- 3) DEED REC # 3518567
- 4) FIELD WORK CONDUCTED IN SEPTEMBER, 2024.
- 5) NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.
- 6) NO LANDSCAPE BUFFERS WERE INVESTIGATED BY THIS SURVEY.
- 7) BASIS OF BEARING: WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD83/91).
- 8) UNDERGROUND UTILITIES SHOWN HEREON, IF ANY, WERE DELINEATED FROM SURFACE EVIDENCE AND/OR UTILITY COMPANY RECORDS. CRITICAL LOCATIONS SHOULD BE VERIFIED PRIOR TO DESIGN AND CONSTRUCTION.
- 9) FEMA DESIGNATION: ZONE 'C' (AREAS OF MINIMAL FLOODING, (NO SHADING), FIRM MAP NUMBER 5301020500B, EFFECTIVE DATE DECEMBER 15, 1981.
- 10) EASEMENT STATEMENT AT END OF LEGAL DESCRIPTION GRANT ACCESS TO PARCEL FROM BIRLEY ROAD A PUBLIC RIGHT OF WAY, ALTHOUGH NO WIDTH IS GIVEN, OTHER RECORDS WEST OF PROPERTY STATE EASEMENT WIDTH OF 60 FEET WITH RECORDING NUMBERS 3287748, 3393809, 3209024, AND 3235454. THESE RECORDS ARE NOT INCLUDED IN OUR TITLE. EASEMENT SHOWN ON SV3 FROM THESE RECORDS, AERIAL, AND AS-BUILT INFORMATION.
- 11) THE LEASED PREMISES IS CONTIGUOUS ALONG IS COMMON BOUNDARIES TO THE ACCESS AND UTILITY EASEMENT, WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE PRIVATE ROAD EASEMENT FOR SKYVIEW DRIVE WHICH IN TURN IS CONTIGUOUS TO THE BIRLEY ROAD RIGHT OF WAY, AND THERE ARE NO GAPS, GORES, SPACES OR OVERLAPS BETWEEN OR AMONG ANY OF SAID PARCELS OF LAND.

CERTIFICATION

TO: HARMONI TOWERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY; ITS SUCCESSORS, ASSIGNS AND/OR DESIGNEES AND CHICAGO TITLE INSURANCE COMPANY;
I, KEVIN J. WALKER, AN OREGON PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILED INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE OREGON STATE REQUIREMENTS. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 12, 2024.

KEVIN J. WALKER
KEVIN J. WALKER, PLS #41038
DATED: 10/29/24



LEGEND

- | | |
|-----|--------------------------|
| --- | SUBJECT BOUNDARY LINE |
| --- | RIGHT-OF-WAY CENTERLINE |
| --- | RIGHT-OF-WAY LINE |
| --- | ADJACENT BOUNDARY LINE |
| --- | SECTIONAL BREAKDOWN LINE |
| OP | OVERHEAD POWER LINE |
| UP | BURIED POWER LINE |
| G | BURIED GAS LINE |
| OT | OVERHEAD TELEPHONE LINE |
| UT | BURIED TELEPHONE LINE |
| W | BURIED WATER LINE |
| SS | BURIED SANITARY SEWER |
| SD | BURIED STORM DRAIN |
| --- | DITCH LINE/FLOW LINE |
| --- | ROCK RETAINING WALL |
| --- | VEGETATION LINE |
| --- | CHAIN LINK FENCE |
| --- | WOOD FENCE |
| --- | BARBED WIRE/WIRE FENCE |
| A | TRANSFORMER |
| X | LIGHT STANDARD |
| P | POWER VAULT |
| U | UTILITY BOX |
| d | UTILITY POLE |
| C | GUY ANCHOR |
| G | GAS VALVE |
| M | GAS METER |
| T | TELEPHONE VAULT |
| TEL | TEL. MANHOLE |
| PE | TEL. PEDESTAL |
| F | FIRE HYDRANT |
| M | GATE VALVE |
| W | WATER METER |
| Q | FIRE STAND PIPE |
| I | IRRIGATION CONTROL |
| C | CATCH BASIN, TYPE I |
| C | CATCH BASIN, TYPE II |
| S | SIGN |
| B | BOLLARD |
| M | MAIL BOX |
| E | SPOT ELEVATION |

NOTE:
1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) AND ARE REFERENCED TO THE NAVD83 DATUM.
2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL) AND ARE ACCURATE TO ± 0.5 FEET OR ± 1% OF TOTAL HEIGHT, WHICHEVER IS GREATER.

TREE LEGEND

- | | |
|----------------|----------|
| DECIDUOUS TREE | AL=ALDER |
| MP=MAPLE | |
| DS=DECIDUOUS | |
| MA=MADRONA | |
| OK=OAK | |
| CH=CHERRY | |
| EVERGREEN TREE | CE=CEDAR |
| DF=DOUGLAS FIR | |
| HE=HEMLOCK | |
| PI=PINE | |
| EV=EVERGREEN | |
- ALTY = TRUNK DIAMETER (IN)
TYPE
ST=STUMP
HT = HEIGHT AGL IF MEASURED

NOTE:
TREE DRIP LINES ARE NOT TO SCALE. TREE SYMBOLS REFERENCE TRUNK LOCATION ONLY. TRUNK DIAMETERS WERE APPROXIMATED AT 3.5' TO 4' ABOVE GROUND LEVEL. TREES SHOWN ARE FOR REFERENCE ONLY AND OTHER TREES AND VEGETATION MAY EXIST.

SITE INFORMATION

TAX LOT NUMBER 028513011000
SITE ADDRESS 262 SKYVIEW DR
MOSSY ROCK, WA 98564
SITE CONTACT KEVIN RIFFLE
PHONE NUMBER 425-445-4000
ZONING RCD-5 (LEWIS COUNTY)
TOTAL LOT AREA 7774 S.F. (777 AC.)
PROJECT AREA 2,500 S.F.

SURVEY REFERENCE

1. RECORD OF SURVEY PER A.F. NO. 3761844, RECORDS OF LEWIS COUNTY.
2. QUITCLAIM DEED PER A.F. NO. 3518567, RECORDS OF LEWIS COUNTY.

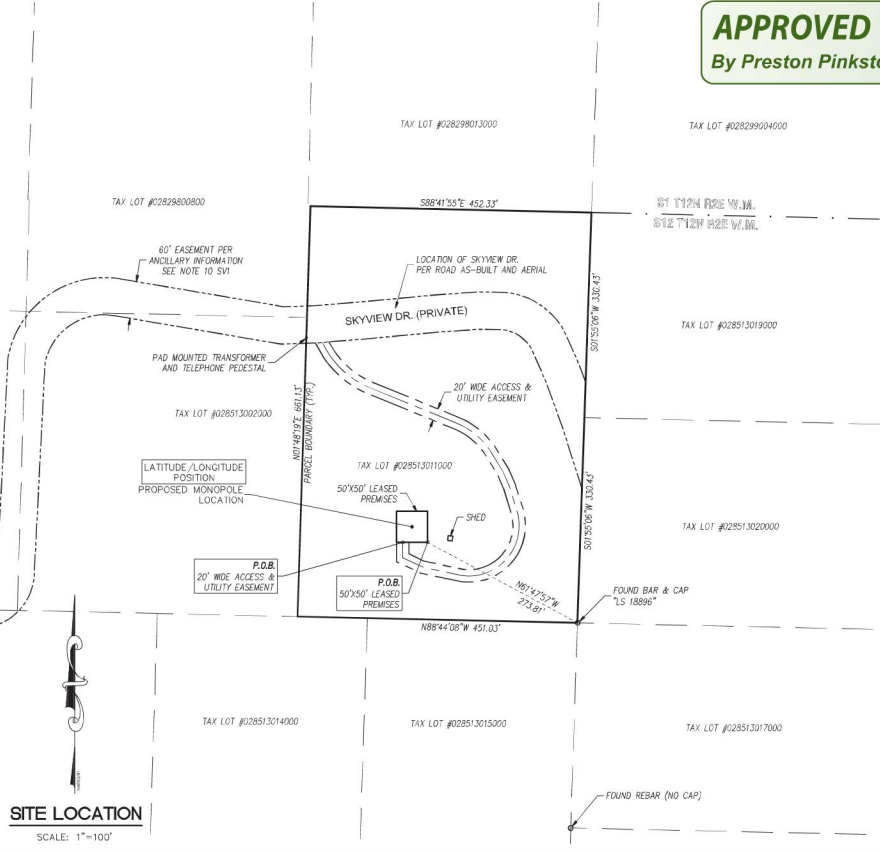
BOUNDARY DISCLAIMER

THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. SUBJECT AND ADJACENT PROPERTY LINES ARE DEPICTED USING FIELD-FOUND EVIDENCE AND RECORD INFORMATION.

UNDERGROUND UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY BE INCOMPLETE. STATE LAW REQUIRES THAT CONTRACTOR CONTACT THE ONE-CALL UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE STARTING ANY CONSTRUCTION.

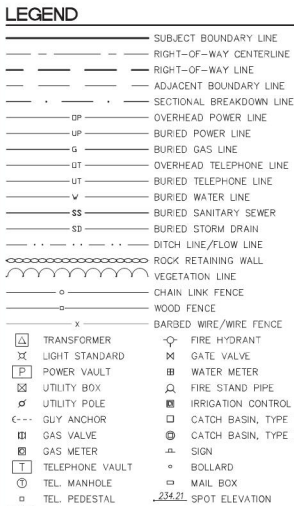
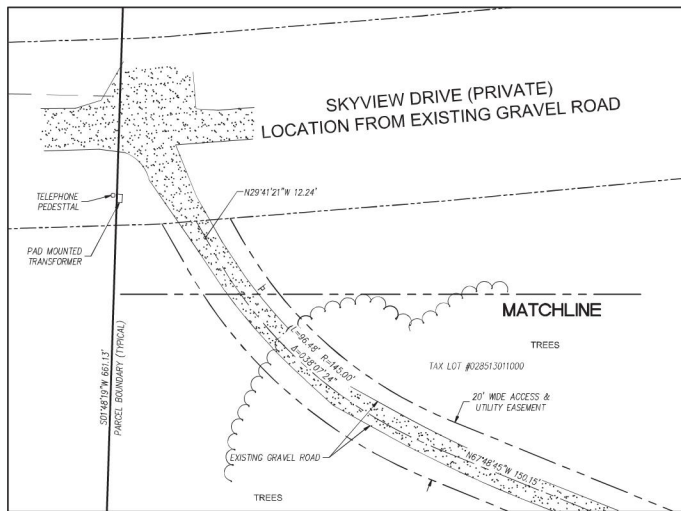
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APPROVED
By Preston Pinkston at 1:58 pm, Apr 09, 2025



SITE LOCATION

SCALE: 1"=100'



LATITUDE/LONGITUDE POSITION

COORDINATE DATA AT CENTER OF PROPOSED MONOPOLE LOCATION:
 NAD 83/91
 LAT - 46°32'44.85\"/>

TREE LEGEND

DECIDUOUS TREE
 AL=ALDER
 MP=MAPLE
 DS=DECIDUOUS
 MA=MADRONA
 OK=OAK
 CH=CHERRY
 EVERGREEN TREE
 CE=CEDAR
 DF=DOUGLAS FIR
 HE=HEMLOCK
 PI=PINE
 EVG=EVERGREEN
 ST=STUMP
 HEIGHT AGL IF MEASURED

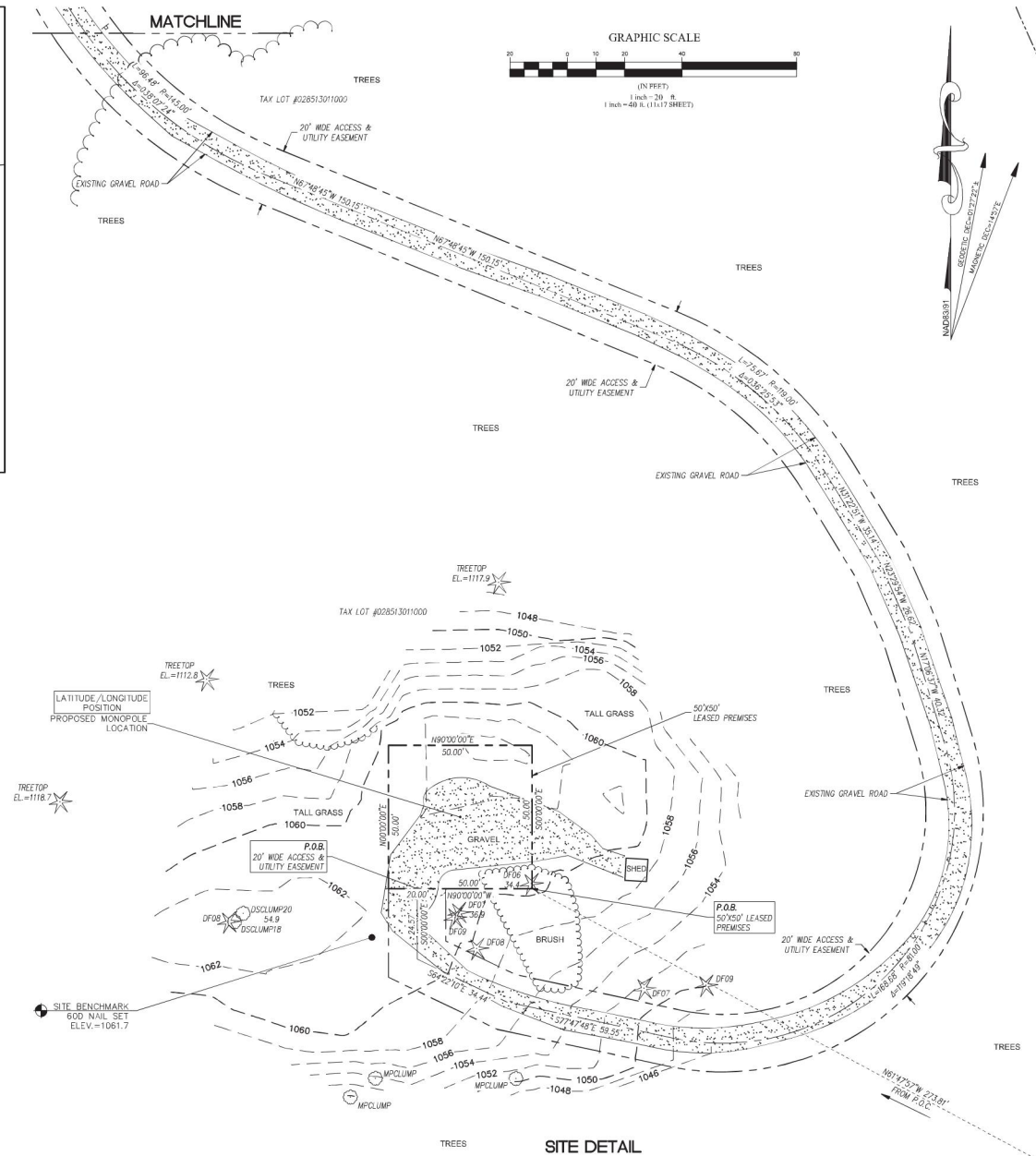
NOTE: TREE DRIP LINES ARE NOT TO SCALE. TREE SYMBOLS REFERENCE TRUNK LOCATION ONLY. TRUNK DIAMETERS WERE APPROXIMATED AT 3.5\"/>

SURVEY REFERENCE

1. RECORD OF SURVEY PER A.F. NO. 3161844, RECORDS OF LEWIS COUNTY.
2. OUTCLAIM DEED PER A.F. NO. 3518567, RECORDS OF LEWIS COUNTY.

BOUNDARY DISCLAIMER

THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. SUBJECT AND ADJACENT PROPERTY LINES ARE DEPICTED USING FIELD-FOUND EVIDENCE AND RECORD INFORMATION.



UNDERGROUND UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY BE INCOMPLETE. STATE LAW REQUIRES THAT CONTRACTOR CONTACT THE ONE-CALL UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE STARTING ANY CONSTRUCTION.

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HARMONITOWERS

CAPITAL DESIGN SERVICES

DUNCANSON
 Company, Inc.
 145 SW 155th Street, Suite 102
 Seattle, Washington 98146
 Phone: 206.344.6161
 Fax: 206.344.4453

SITE
MOSSY ROCK
 262 SKYVIEW DR.
 MOSSY ROCK, WA 98564
 LEWIS COUNTY

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F.L.D. CREW:	DC/AH
F.L.D. BOOK:	641/60
DRAWN BY:	LAC
JOB #:	99544.2970
DATE:	09/16/24

REVISIONS		
DATE	DESCRIPTION	BY
10/26/24	ADD TITLE INFORMATION	LAC

SHEET TITLE
 SURVEY
 SEC 12, TWP 21 N, RNG 2 E, WM

SHEET NUMBER
 SV2

A TRACT OF LAND IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 12 NORTH, RANGE 2 EAST, W.M., LEWIS COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BAR AND CAP STAMPED "LS #18896" AT THE NORTHEAST CORNER OF THE PROPERTY SURVEYED FOR AUDITOR'S FILE NO. 3573008, RECORDS OF LEWIS COUNTY, WASHINGTON, FROM WHICH A FOUND REBAR BEARS SOUTH 01°55'00" WEST, 330.57 FEET;

THENCE NORTH 61°47'57" WEST, 273.81 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 90°00'00" WEST, 50.00 FEET;

THENCE NORTH 00°00'00" EAST, 50.00 FEET;

THENCE SOUTH 90°00'00" EAST, 50.00 FEET;

THENCE SOUTH 00°00'00" WEST, 50.00 FEET TO THE POINT OF BEGINNING;

CONTAINING 2,500 S.F. OF LAND, MORE OR LESS.

TRACT OF LAND IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 NORTH, RANGE 2 EAST, W.M., LEWIS COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

SAID TRACT BEING A 20 FOOT WIDE STRIP OF LAND LYING 10 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A FOUND BAR AND CAMP STAMPED "LS #18896" AT THE NORTHEAST CORNER OF THE PROPERTY SURVEYED FOR AUDITOR'S FILE NO. 357,308, RECORDS OF LEWIS COUNTY, WASHINGTON, FROM WHICH A FOUND NEAR BEARS SOUTH 01°55'00" WEST, 330.37 FEET;

THENCE NORTH 61°47'57" WEST, 273.81 FEET;

THENCE NORTH 90°00'00" WEST, 40.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°00'00" EAST, 24.57 FEET;

THENCE SOUTH 64°22'10" EAST, 34.44 FEET;

THENCE SOUTH 77°47'48" EAST, 59.55 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 81.00 FEET;

THENCE ALONG SAID CURVE 168.68 FEET THROUGH A CENTRAL ANGLE OF 119°16'49";

THENCE NORTH 17°06'37" WEST, 40.32 FEET;

THENCE NORTH 23°29'54" WEST, 26.82 FEET;

THENCE SOUTH 31°22'25" WEST, 35.14 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 119.00 FEET;

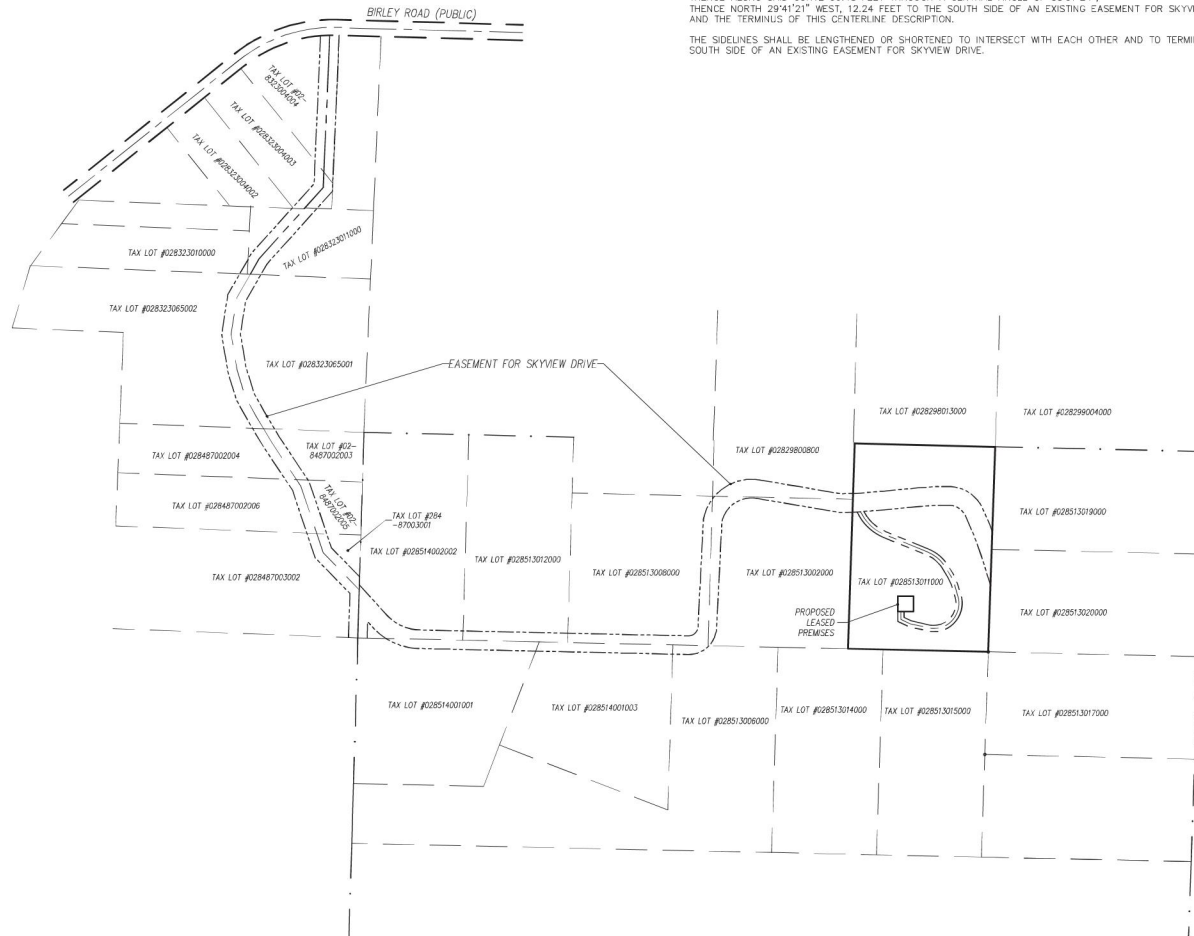
THENCE ALONG SAID CURVE 75.67 FEET THROUGH A CENTRAL ANGLE OF 36°25'53";

THENCE NORTH 67°48'45" WEST, 150.15 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 145.00 FEET;

THENCE ALONG SAID CURVE 96.48 FEET THROUGH A CENTRAL ANGLE OF 38°07'24";

THENCE NORTH 29°41'21" WEST, 12.24 FEET TO THE SOUTH SIDE OF AN EXISTING EASEMENT FOR SKYVIEW DRIVE AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION.

THE SIDELINES SHALL BE LENGTHENED OR SHORTENED TO INTERSECT WITH EACH OTHER AND TO TERMINATE AT THE SOUTH SIDE OF AN EXISTING EASEMENT FOR SKYVIEW DRIVE.



_____	SUBJECT BOUNDARY LINE
_____	RIGHT-OF-WAY CENTERLINE
_____	RIGHT-OF-WAY LINE
_____	ADJACENT BOUNDARY LINE
_____	SECTIONAL BREAKDOWN LINE
—DP—	OVERHEAD POWER LINE
—UP—	BURIED POWER LINE
—G—	BURIED GAS LINE
—UT—	OVERHEAD TELEPHONE LINE
—UT—	BURIED TELEPHONE LINE
—W—	BURIED WATER LINE
—SS—	BURIED SANITARY SEWER
—SD—	BURIED STORM DRAIN
— · · · — · · · —	DITCH LINE/FLOW LINE
	ROCK RETAINING WALL
—o—	VEGETATION LINE
—o—	CHAIN LINK FENCE
—o—	WOOD FENCE
—X—	BARBED WIRE/WIRE FENCE
A	TRANSFORMER
H	LIGHT STANDARD
P	POWER VAULT
X	UTILITY BOX
Q	UTILITY POLE
C ---	GUY ANCHOR
G	GAS VALVE
M	GAS METER
T	TELEPHONE VAULT
O	MANHOLE
P	TEL. PEDESTAL
F	FIRE HYDRANT
V	GATE VALVE
W	WATER METER
S	FIRE STAND PIPE
I	IRRIGATION CONTROL
C	CATCH BASIN, TYPE I
D	CATCH BASIN, TYPE II
S	SIGN
B	BOLLARD
M	MAIL BOX
E	SPOT ELEVATION

NOTE:
1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) AND ARE REFERENCED TO THE NAVD88 DATUM.
2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL) AND ARE ACCURATE TO ± 0.5 FEET OR $\pm 1\%$ OF TOTAL HEIGHT, WHICHEVER IS GREATER.



DUNCANSON
Company, Inc.
145 SW 155th Street, Suite 102
Seattle, Washington 98166
Phone 206.244.4141
Fax 206.244.4455

SITE
MOSSY ROCK
262 SKYVIEW DR.
MOSSYROCK, WA 98564
LEWIS COUNTY

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FLD. CREW:	DC/AH
FLD. BOOK:	641/60
DRAWN BY:	LAC
JOB #:	99544.2970
DATE:	09/16/24

DATE	DESCRIPTION	BY
10/26/24	ADD TITLE INFORMATION	LAC



SHEET TITLE
SURVEY
12, TWP 21 N, RNG 2 E, WM

SHEET NUMBER
SV3

1. RECORD OF SURVEY PER A.F. NO. 3161844, RECORDS OF LEWIS COUNTY.

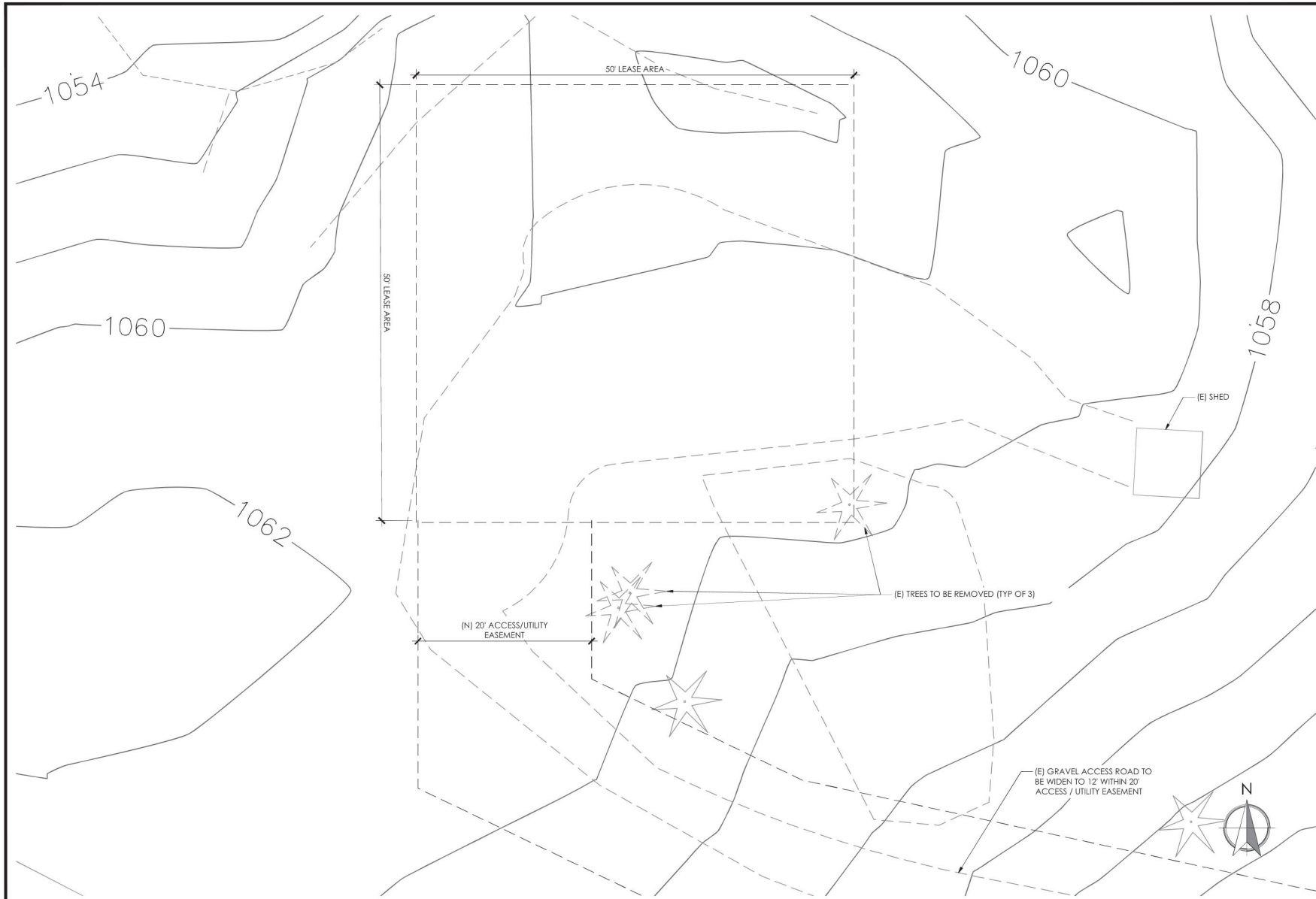
2. QUITCLAIM DEED PER A.F. NO. 3518567, RECORDS OF LEWIS COUNTY.

THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. SUBJECT AND ADJACENT PROPERTY LINES ARE DEPICTED USING FIELD-FOUND EVIDENCE AND RECORD INFORMATION.

UNDERGROUND UTILITIES
EXIST IN THE AREA AND
UTILITY INFORMATION SHOWN
MAY BE INCOMPLETE. STATE
LAW REQUIRES THAT
CONTRACTOR CONTACT THE
ONE-CALL UTILITY LOCATE
SERVICE AT LEAST 48 HOURS
BEFORE STARTING ANY
CONSTRUCTION.



**Know what's below.
Call before you dig.**



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CHECKED BY: _____ CL

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LICENSER

PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

**ENLARGED EXISTING
SITE PLAN**

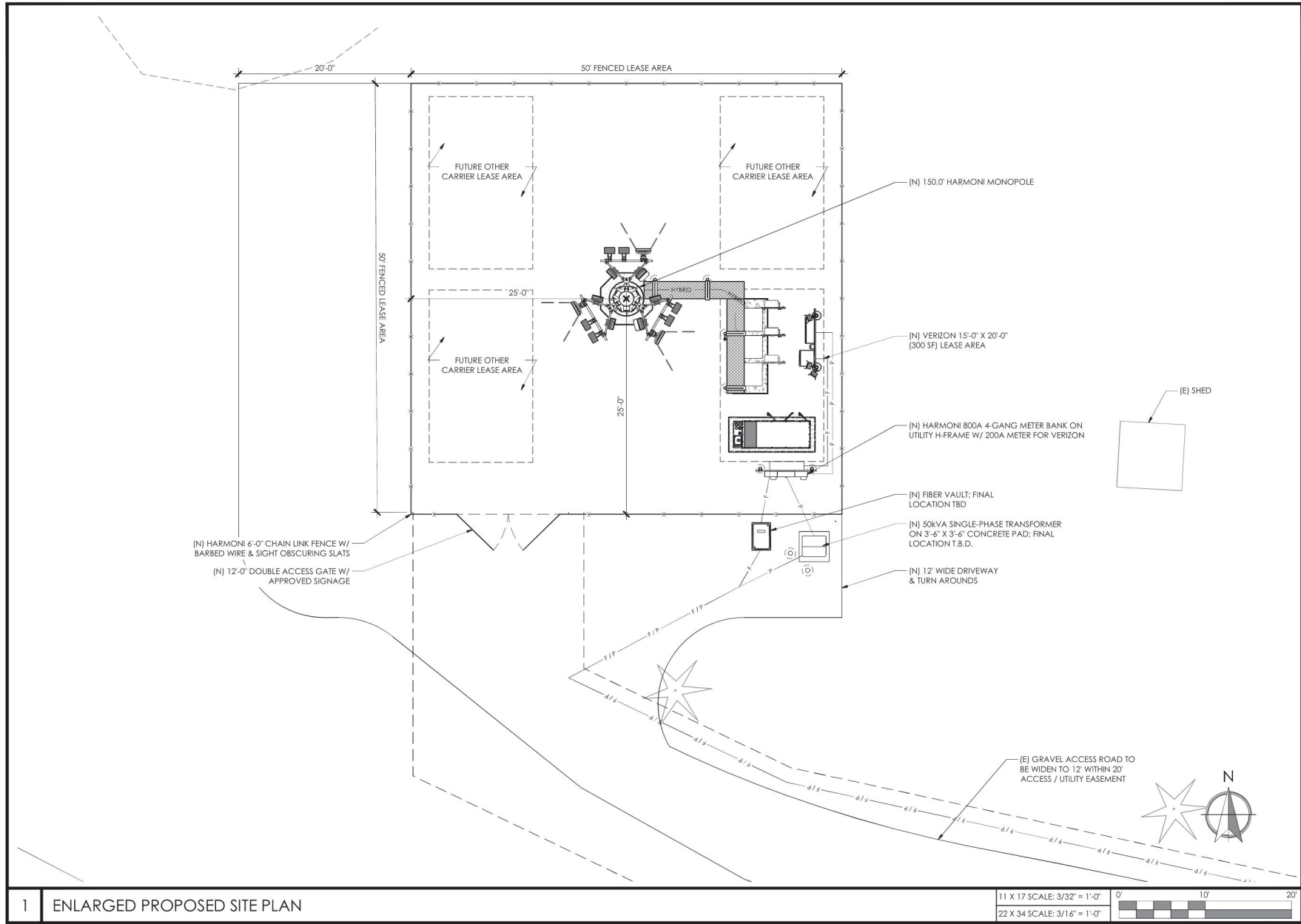
SHEET NO.

A2.0

1 ENLARGED EXISTING SITE PLAN

11 X 17 SCALE: 1" = 100'-0"
22 X 34 SCALE: 1" = 50'-0"

0' 50' 100' 200'



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SHEET TITLE

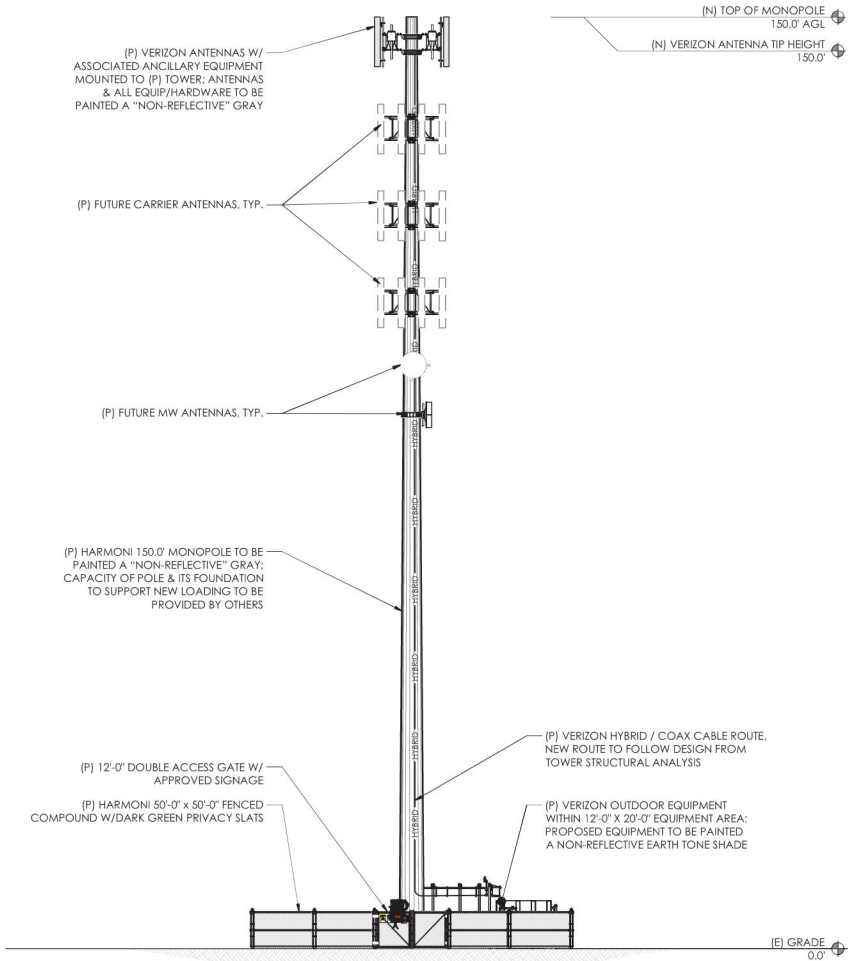
ENLARGED PROPOSED SITE PLAN

SHEET NO.

A2.1

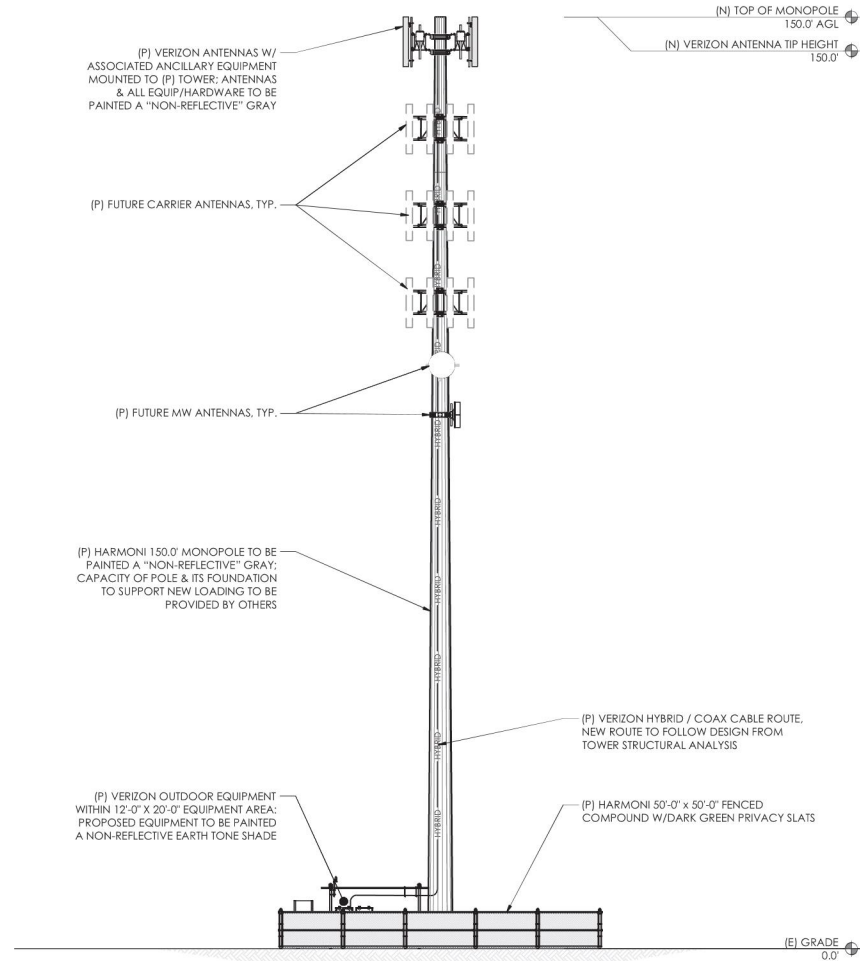
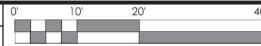
NOTES:

1. THE PROJECT CM / PM TO VERIFY ANY REQUIRED PAINTING REQUIREMENTS FOR PROPOSED TOWER, ANTENNAS, ANCILLARY EQUIPMENT, CABLES, AND HARDWARE PRIOR TO ORDERING / INSTALLING EQUIPMENT.
2. NEW OR REPLACEMENT ANTENNA MOUNTS SHALL COMPLY WITH NSTD-445 STANDARDS AS REQUIRED BY VERIZON.



1 SOUTH ELEVATION

11 X 17 SCALE: 1" = 20'-0"
22 X 34 SCALE: 1" = 10'-0"



2 EAST ELEVATION

11 X 17 SCALE: 1" = 20'-0"
22 X 34 SCALE: 1" = 10'-0"



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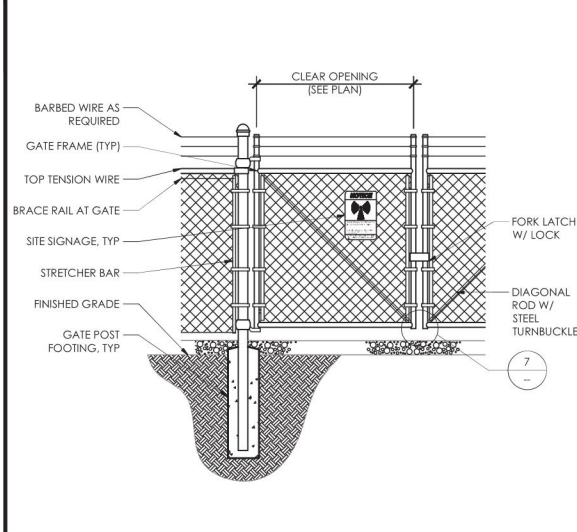
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PROJECT INFORMATION
MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE
ELEVATIONS

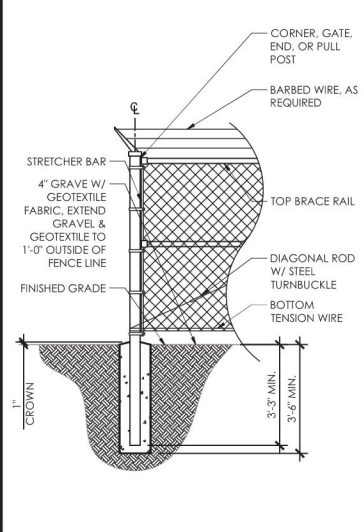
SHEET NO.
A3.0

1. THE CONTRACTOR SHALL MATCH THE FENCING STYLE, HEIGHT, BANDING, BARBED WIRES, SUPPORTS, AND MEASUREMENTS OF THE EXISTING FENCE WHEREVER THE PROJECT REQUIRES MODIFICATION OR EXTENSION OF AN EXISTING FENCED AREA.
2. ALL WIRE RAILS, FABRIC, POLES, HARDWARE, AND OTHER STEEL MATERIAL SHALL BE HOT-DIPPED GALVANIZED AND CONFORM TO ALL ASTM REGULATIONS FOR GALVANIZING.
3. THE FABRIC SHALL BE 4'-0" HIGH x 2" CHAIN LINK MESH OF NO. 9 GAUGE (0.148) WIRE, AND HAVE A TWISTED AND BARBED FINISH FOR THE TOP EDGES AND A KNUCKLED FINISH FOR THE BOTTOM EDGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS-1.
4. ALL BARBED WIRE SHALL BE 12 GAUGE TWISTED WIRE, DOUBLE-STRAND, WITH 14 GAUGE, 4 POINT ROUND BARBS SPACED AT 5" O.C..
5. ALL POSTS SHALL BE GALVANIZED STEEL, SCHEDULE 20 PIPE OF THE FOLLOWING DIAMETERS: LINE = 2-3/8" / CORNER = 3" / GATE = 3"
6. IF APPLICABLE, EXTEND CORNER AND GATE POSTS 12" INCLUDING THE METAL DOME CAP TO PROVIDE FOR ATTACHMENT OF THE BARBED WIRE.
7. GATE FRAMES SHALL HAVE A FULL HEIGHT VERTICAL BRACE AND A FULL WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
8. ALL TOP AND BRACED RAILS SHALL BE 1-5/8" Ø SCHEDULE 20 MECHANICAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
9. HINGES SHALL BE A MINIMUM OF 200 DEGREES WITH A HINGE ADAPTER, LATCHES, STOPS AND KEEPERS SHALL BE PROVIDED FOR ALL GATES. THE GUIDE LATCH ASSEMBLY SHALL BE TAMPER-PROOF. ALL STOPS AND DOUBLE GATES SHALL HAVE A FULL HEIGHT PLUNGER BAR WITH A METAL DOME CAP.
10. A NO. 7 GAUGE ZINC COATED TENSION WIRE IS TO BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
11. A 6" x 12" EYEBOLT TO HOLD TENSION WIRE SHALL BE USED AT ALL LINE POSTS.
12. ALL STRETCHER BARS SHALL BE 3/16 x 3/4" OR HAVE EQUIVALENT CROSS SECTION AREA.
13. ALL CORNER GATE AND END PANELS SHALL HAVE A 3/8" TRUSS ROD WITH TURNBUCKLES AND BE BRACED WITH ONE 1-5/8" HORIZONTAL COMPRESSION MEMBER, SECURELY ATTACHED WITH IRON FITTINGS.
14. CONTRACTOR TO PROVIDE ALL OTHER HARDWARE NECESSARY TO ATTACH, TENSION, CLIP, BAND, HINGE, FASTEN AND FINISH THE FENCING PROPERLY.
15. IF APPLICABLE, THE BARBED WIRE SUPPORT ARMS SHALL BE SCH. 40, GALVANIZED STEEL WITH SET BOLT AND LOCK LOCK WIRE IN THE ARM.
16. ALL POSTS, GATE GUARDS, AND OTHER OPEN PIPES SHALL BE CAPPED WITH A HOT DIPPED GALVANIZED CAST STEEL DOME CAP.
17. ALL POSTS SHALL HAVE A MINIMUM OF 6" OF CONCRETE UNDER THE LOWER MOST PORTION TO A MINIMUM OF 8" LARGER THAN THE DIAMETER AT THE FINISHED GRADE.
18. ALL FENCE POSTS SHALL BE SCH. 40 GALVANIZED STEEL POSTS WITH SET BOLT AND LOCK WIRE IN THE ARM.
19. AT CORNER POSTS, GATE POST, LINE POST, AND SIDE OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND CLIPS AT 1'-3" INTERVALS.
20. ATTACH FABRIC TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH THE TIE CLIPS AT 2'-0" INTERVALS.
21. PROVIDE A MAXIMUM GAP OF 1" BETWEEN THE CHAIN LINK FABRIC AND THE FINAL GRADE.
22. GATE HINGES SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL, AND GATES SHALL BE INSTALLED SO THAT LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
23. CONTRACTOR TO TOUCH UP ALL SCRAPES, SCRATCHES, MARKS, AND BARE AREAS WITH A COLD GALVANIZED SPRAY.



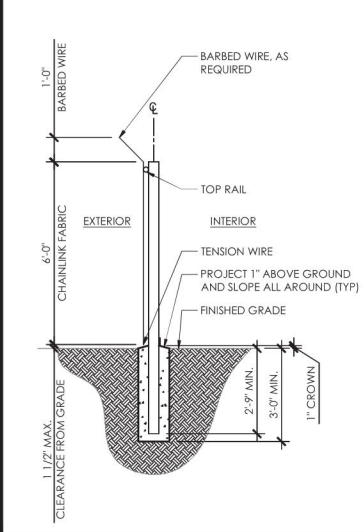
2 DOUBLE SWING GATE

11x17 SCALE: NTS
22x34 SCALE: NTS



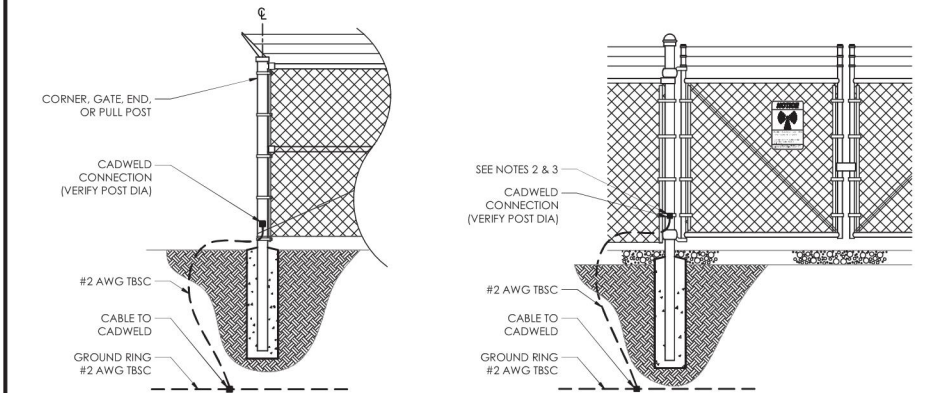
3 CORNER POST

11x17 SCALE: NTS
22x34 SCALE: NTS



4 WOVEN WIRE

11x17 SCALE: NTS
22x34 SCALE: NTS

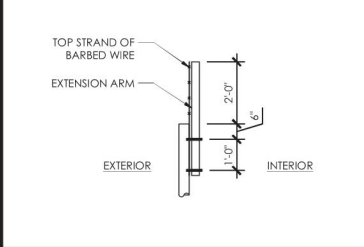


GROUNDING NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AT MINIMUM, ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100-FOOT STRAIGHT RUN OF FENCE.
2. HE #2 AWG, TBSC, FROM THE RING GROUND SHALL BE CADWELDED TO THE POST, ABOVE GROUND.
3. THE GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAIDED FLAT STRAP WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. THE GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULL OPEN IN EITHER DIRECTIONS.

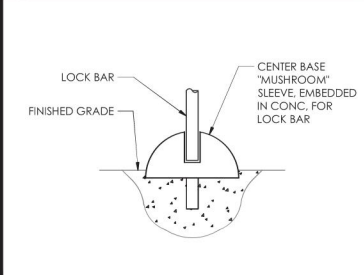
5 FENCE GROUNDING

11x17 SCALE: NTS
22x34 SCALE: NTS



6 BARBED WIRE

11x17 SCALE: NTS
22x34 SCALE: NTS



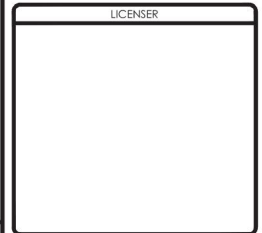
7 GATE STOP

11x17 SCALE: NTS
22x34 SCALE: NTS



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PROJECT INFORMATION

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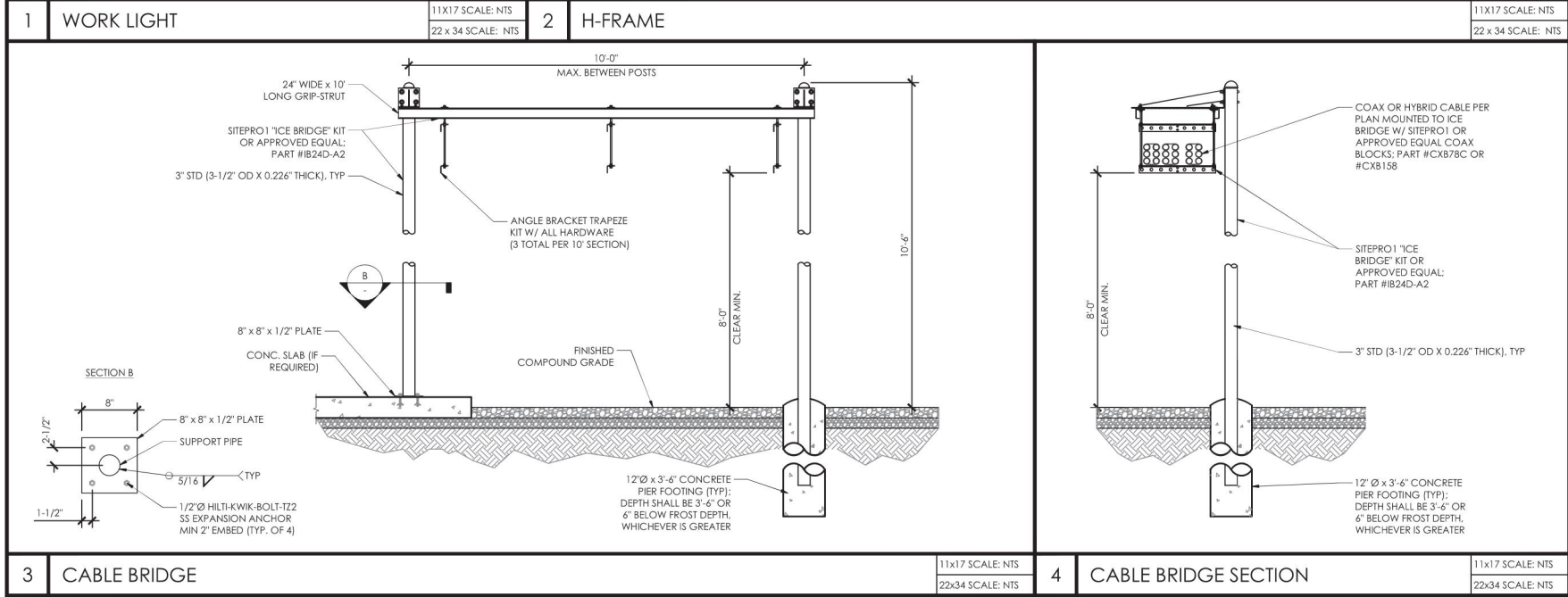
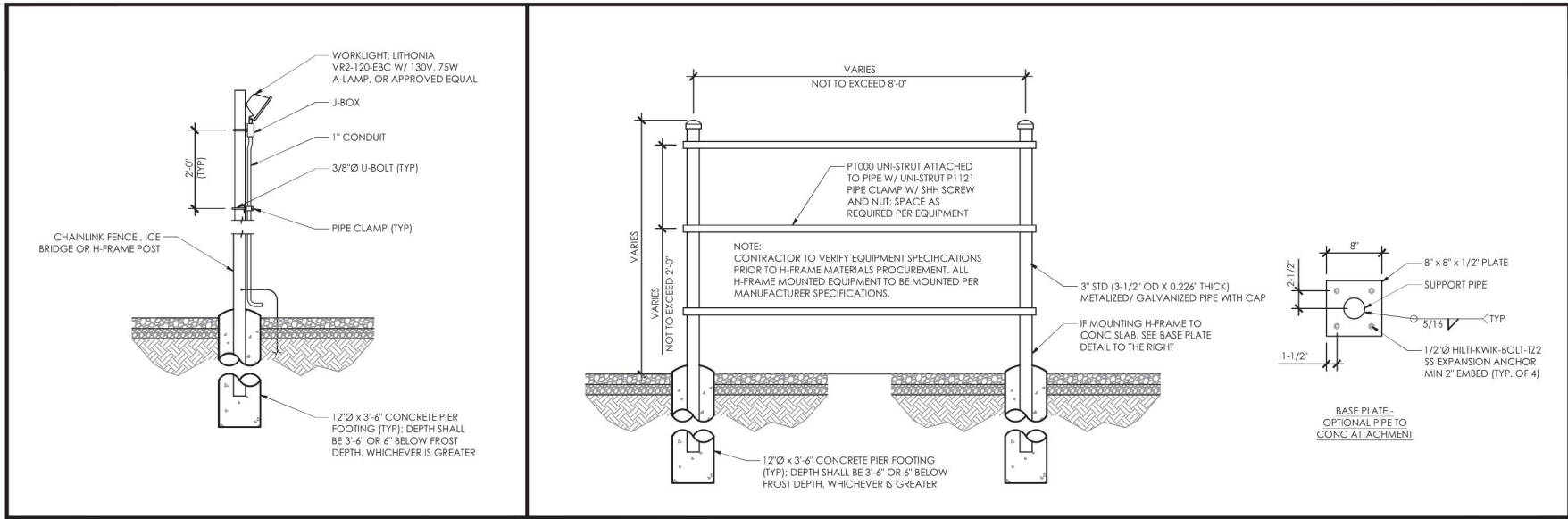
SHEET TITLE

FENCE DETAILS

SHEET NO.

A4.0

1 NOTES



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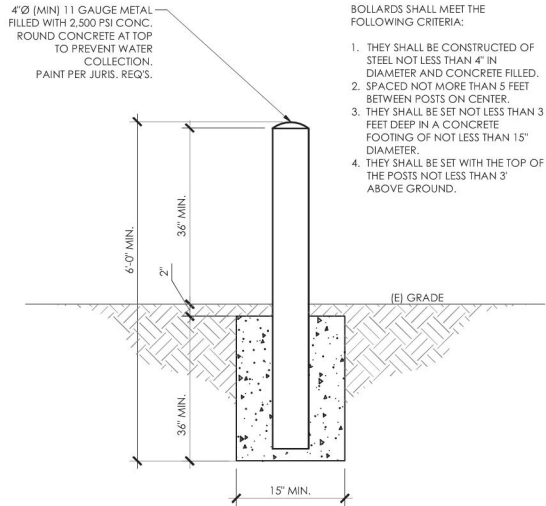
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MOSSYROCK, WA 98564

SHEET TITLE

CONSTRUCTION DETAILS

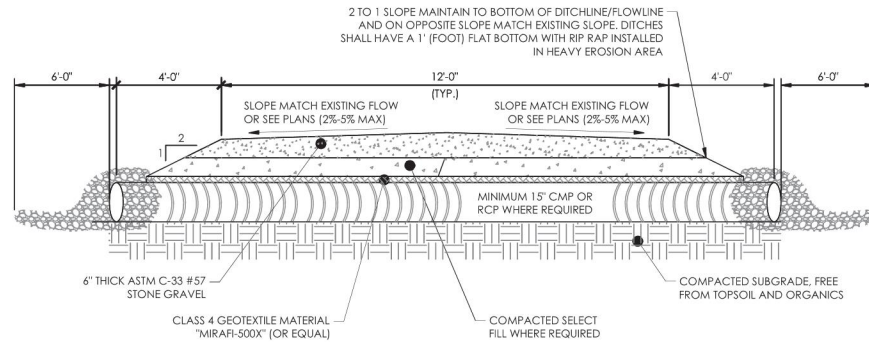
SHEET NO.

A5.0



1 BOLLARD DETAIL

11X17 SCALE: NTS
22 x 34 SCALE: NTS

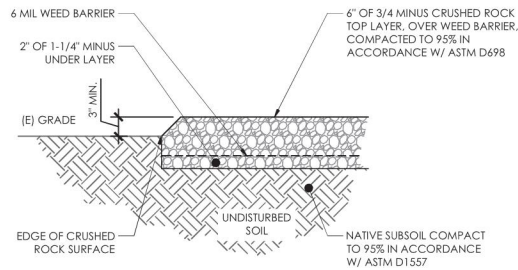


NOTES:

1. USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
2. AGGREGATE IS BASED ON STANDARD AASHTO.
3. 2" CROWN IN CENTER OF ACCESS, UNLESS IN CURVES, THEN ACCESS SHOULD BE SLOPED TO INSIDE OF TURN / CURVE
4. PIPE SHALL BE AT A MINIMUM OF 4' LONGER THEN ACCESS ROAD WIDTH ON EACH SIDE FOR PROPER SHOULDERING.
5. ALL CROSSEDRAINS SHALL BE INSTALLED ON A 45° ANGLE WITH THE FALL OF THE GRADE.

2 ACCESS ROAD SECTION VIEW DETAIL

11X17 SCALE: NTS
22 x 34 SCALE: NTS



NOTES:

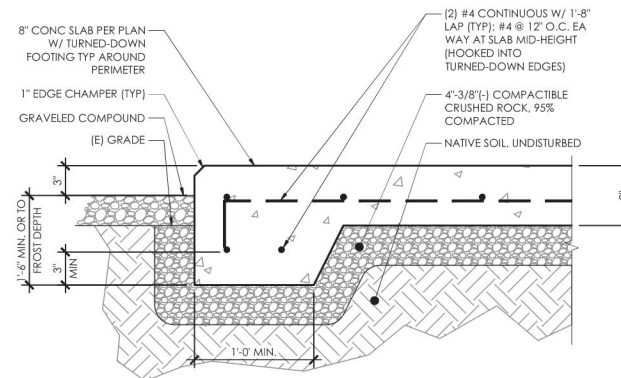
1. CONTRACTOR SHALL STRIP SUPERFICIAL, SOFT, WET, ORGANIC OR DELETERIOUS SOILS TO EXPOSE FIRM AND UNYIELDING SOIL.
2. IF STRIPPING IS REQUIRED DEEPER THAN 6", CONTRACTOR SHALL CONTACT THE SITE CONSTRUCTION MANAGER TO DETERMINE THE APPROPRIATE STRIPPING DEPTH AT THE TIME OF CONSTRUCTION.

3 COMPOUND SECTION DETAIL

11X17 SCALE: NTS
22 x 34 SCALE: NTS

NOTES:

1. SEE STRUCTURAL CONCRETE NOTES, SHEET GN2.0.
2. SLOPE CONCRETE 1/4" PER FOOT MINIMUM.
3. VERIFY EQUIPMENT CABINET SPECIFICATIONS FOR MOUNTING HOLE LOCATIONS.
4. MINIMUM OF 2" COVER AT TOP OF SLAB, AND 3" WHERE CONCRETE IS IN CONTACT W/ SOIL.
5. SOIL SHALL BE PREPARED WITH A FLAT SURFACE, FREE AND CLEAR OF STANDING WATER AND LOOSE DEBRIS. SOIL SHOULD BE WELL COMPACTED TO 90% OF IT MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
6. TOP SURFACE OF SLAB SHALL BE A LIGHT BROOM FINISH AND TAPERED TO ALLOW WATER TO SHED WITHOUT PONDING.



4 TYPICAL CONCRETE PAD SECTION

11X17 SCALE: NTS
22 x 34 SCALE: NTS

HARMONI TOWERS

verizon

North GROUP

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PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NO.

A5.1

NOTICE

**GUIDELINES FOR WORKING IN
RADIOFREQUENCY ENVIRONMENTS**

All personnel should have electromagnetic energy (EME) awareness training.

All personnel entering this site must be authorized.

Obey all posted signs.

Assume all antennas are active.

Before working on antennas, notify owners and disable appropriate transmitters.

Maintain minimum 3 feet clearance from all antennas.

Do not stop in front of antennas.

Use personal RF monitors while working near antennas.

Never operate transmitters without shields during normal operation.

Do not operate base station antennas in equipment room.

HARMONITOWERS

ASR NUMBER:

SITE NAME: MOSSYROCK

SITE ID: WA0007224

FOR LEASING INFORMATION CALL: 501.850.0820

IN CASE OF EMERGENCY CALL: 844.398.9716



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PROJECT INFORMATION

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SHEET TITLE

SITE SIGNAGE
DETAILS

SHEET NO.

A6.0

1	RFE GUIDELINE SIGNAGE	11X17 SCALE: NTS 22 x 34 SCALE: NTS	2	HARMONI SITE ID SIGNAGE	11X17 SCALE: NTS 22 x 34 SCALE: NTS
3	NOT USED	11X17 SCALE: NTS 22 x 34 SCALE: NTS	4	NOT USED	11X17 SCALE: NTS 22 x 34 SCALE: NTS
5	NOT USED	11X17 SCALE: NTS 22 x 34 SCALE: NTS			

1. LOW LEVEL (BLUE) WARNING SIGNS (PLACE AT SITE ENTRY/ACCESS POINTS ONLY):

- 1 | NOTES



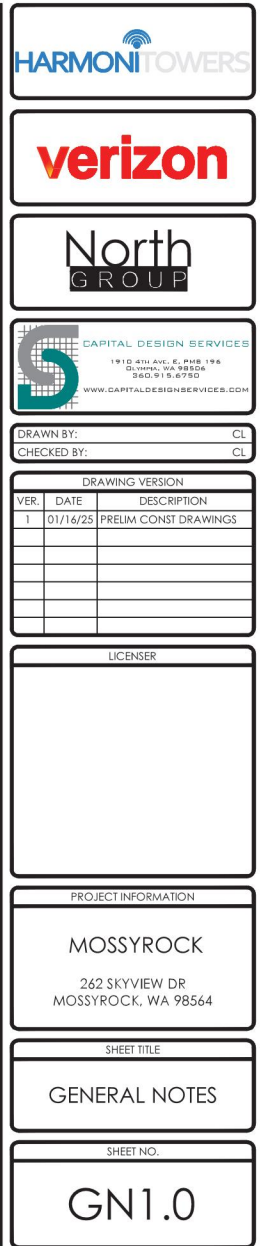
1. ALL WORK SHALL ADDH TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE (LATEST EDITION), AND ANY OTHER APPLICABLE CODES AND ORDINANCES AS REQUIRED BY THE JURISDICTION.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND THE CARRIER INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES (LATEST REVISION). SPECIFICATIONS ARE THE RULING DOCUMENTS, AND ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD (EOR) PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE DRAWINGS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FIELD CONDITIONS INCLUDING DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION, IS REQUIRED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, AND SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IF THEY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
12. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC., AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
14. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
15. REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
16. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
17. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES. OF ANY NATURE, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
18. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
19. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
20. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
21. LIGHT SHADED LINES AND NOTES REPRESENT WORK PREVIOUSLY DONE. DARK SHADED LINES AND NOTES REPRESENT THE SCOPE OF WORK FOR THIS PROJECT. CONTRACTOR SHALL VERIFY IF EXISTING CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
22. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND/OR WIRING CERTIFICATES REQUIRED FOR THE ELECTRICAL SERVICE/UPGRADE. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION AND SCHEDULING WITH THE SERVING ELECTRICAL UTILITY AND LOCAL INSPECTION AUTHORITIES.
23. CONTRACTOR TO VERIFY ALL ASPECTS OF THE EXISTING STRUCTURE FOR CONFORMITY WITH THE VALUES SHOWN IN THESE DRAWINGS AND NOTIFY THE E.O.R. IF ANY DISCREPANCIES ARE FOUND. ALL ELEMENTS OF EXISTING STRUCTURE TO REMAIN UNDISTURBED, U.N.O.

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
3. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
4. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NOT RESPONSIBILITY WHATSOEVER AS TO THE CORRECTNESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL OBTAIN CRITICAL UTILITY COMPANY'S DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION, ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
6. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
7. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
8. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
9. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY SHIELD EACH SIDE IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
10. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
11. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
12. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
13. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
14. CONTRACTOR SHALL CLEAN ENTIRE SITE DAILY AFTER CONSTRUCTION SUCH THAT NO PAPERS, THRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
15. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
16. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL.
2. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL, OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED, TO COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 85% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF MAJOR OBSTACLES ARE ENCOUNTERED AT THE PROPOSED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION, BUT NOT THE SUB BASE MATERIAL. IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
4. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 1 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
5. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
6. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
7. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHEN REQUIRED.
8. NEWLY GRADED SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC (FOT TYPE 30, 31, OR 3401, AS MANUFACTURED BY "CONSTRUCTION MATERIAL 1-800-229-3841" OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENCE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITHIN 24 HOURS OF THE FACTORY SPECIFIED DATE OF INSTALLATION. REQUIRED, IE, FOOT TYPE NO. 57 FOR FENCED COMPOUND; FOOT TYPE NO. 67 FOR ACCESS DRIVE AREA.

9. IN ALL AREAS TO RECEIVE FILL, REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WEI AND UNDESIRABLE SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BOND WITH EXISTING/PREPARED SOIL SURFACE.
10. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RE-COMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
11. IN AREAS WHICH EXISTING GRAVEL SURFACING IS REMOVED OR DISTURBED DURING CONSTRUCTION, EXISTING GRAVEL SURFACING SHALL BE REPLACED TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.
12. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED WITH THE CONDITION THAT ANY UNFAVORABLE AMOUNTS OF ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ANY ADDITIONAL GRAVEL SURFACING MATERIALS AS NEEDED TO MAINTAIN A FULL DEPTH COMPACTION THROUGHOUT SITE.
13. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATION BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOGS OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
14. PROTECT EXISTING GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE.
15. DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
16. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVT. AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.
17. FOUNDATION DESIGN IS BASED UPON 1,500 PSF ALLOWABLE BEARING PRESSURE. INDEPENDENT SOILS TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS STRONGLY RECOMMENDED TO VERIFY SOIL BEARING CAPACITY, SOIL STABILITY, AND ALL OTHER APPLICABLE SOILS PARAMETERS.

1. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION. STEEL SECTIONS SHALL BE IN ACCORDANCE WITH ASTM AS INDICATED BELOW:
W-SHAPES: ASTM A992, 50 KSI
ANGLES, BARS CHANNELS: ASTM A36, 36 KSI
HSS SECTIONS: ASTM 500, 46 KSI
PIPE SECTIONS: ASTM A53-B, 35 KSI
2. ALL EXTERIOR EXPOSED STEEL AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
3. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC, WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP. ALL WELDING SHALL BE PERFORMED IN AN APPROVED SHOP.
4. ALL BOLTS FOR STEEL TO STEEL CONNECTIONS TO BE PER ASTM A325, HOLES TO BE 1/16" DIA. LARGER THAN BOLT, U.N.C.
5. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8"Ø ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
6. FIELD MODIFICATIONS ARE TO BE COATED WITH ZINC ENRICHED PAINT.



STRUCTURAL CONCRETE NOTES

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 318-14 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE FOR SLABS ON GRADE, SHELTER FOUNDATION, AND PIER FOUNDATIONS FOR FENCES, ICE BRIDGE, AND H-FRAME SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH $f_c' = 3,000$ PSI AT 28 DAYS UNLESS NOTED OTHERWISE. SPECIAL INSPECTION REQUIRED AS NOTED.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3 IN.

CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER.....2 IN.
#5 AND SMALLER & WWF.....1 1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
SLAB AND WALL.....3/4 IN.
BEAMS AND COLUMNS.....1 1/2 IN.

5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301, LATEST EDITION, SECTION 4.
6. HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
7. USE AND INSTALLATION OF CONCRETE ADHESIVE AND EXPANSION/WEDGE ANCHORS SHALL BE PER ICC & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.
8. FOUNDATION DESIGN IS BASED ON PRESUMPTIVE SOIL PARAMETERS. IT IS STRONGLY RECOMMENDED THAT INDEPENDENT SOILS TESTING BE PERFORMED BY A LICENSED GEOTECHNICAL ENGINEER TO VERIFY SOIL BEARING CAPACITY, SLOPE STABILITY, AND ALL OTHER RELATED SOIL PARAMETERS.

SPECIAL INSPECTION NOTES

1. CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY CARRIER AND THE LOCAL JURISDICTION, AS REQUIRED BY IBC SECTION 1704 AND 1705 FOR THE FOLLOWING:
- A. STRUCTURAL STEEL:
i. ALL HIGH STRENGTH BOLT INSTALLATIONS; BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2, AND N5.6-3 PER AISC 360-10.
ii. FIELD WELDING (IF UTILIZED).
- B. BOLTS AND ANCHORS IN CONCRETE:
i. RETROFIT ANCHORS IN CONCRETE (ASHEISVE/EPOXY, EXPANSION, WEDGE, OR SCREW TYPE ANCHORS): INSPECT SIZE, LENGTH, CLEANLINESS, AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.
- C. CONCRETE CONSTRUCTION:
i. VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC SECTION 1705, TABLE 1705.3.

SPECIAL INSPECTION NOTES

2. PROVIDE SPECIAL INSPECTIONS FOR OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
3. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.
4. CONTINUOUS THIRD PARTY SPECIAL INSPECTION REQUIRED FOR ALL BELZONA 1111 MOUNTED PLATES AND HARDWARE.

INSPECTION OF HIGH-STRENGTH BOLTING (PER AISC 360-16, SECTION N5):

OBSERVATION OF BOLTING OPERATIONS SHALL BE THE PRIMARY METHOD USED TO CONFIRM THAT THE MATERIALS, PROCEDURES AND WORKMANSHIP INCORPORATED IN CONSTRUCTION ARE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE PROVISIONS OF THE RCSC SPECIFICATION.

- (1) FOR SNUG-TIGHT JOINTS, PRE-INSTALLATION VERIFICATION TESTING AS SPECIFIED IN TABLE N5.6-1 AND MONITORING OF THE INSTALLATION PROCEDURES AS SPECIFIED IN TABLE N5.6-2 ARE NOT APPLICABLE. THE QCI AND QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS IN SNUG-TIGHT JOINTS.
- (2) FOR PRETENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE TURN-OF-NUT METHOD WITH MATCHMARKING TECHNIQUES, THE DIRECT-TENSION-INDICATOR METHOD, OR THE TWIST-OFF-TYPE TENSION CONTROL BOLT METHOD, MONITORING OF BOLT PRETENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QCI AND QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.
- (3) FOR PRETENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE CALIBRATED WRENCH METHOD OR THE TURN-OF-NUT METHOD WITHOUT MATCHMARKING, MONITORING OF BOLT PRETENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QCI AND QAI SHALL BE ENGAGED IN THEIR ASSIGNED INSPECTION DUTIES DURING INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.

AS A MINIMUM, BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2 AND N5.6-3. IN THESE TABLES, THE INSPECTION TASKS ARE AS FOLLOWS:

- O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS.
- P - PERFORM THESE TASKS FOR EACH BOLTED CONNECTION.
- QC - QUALITY CONTROL TASKS TO BE PERFORMED BY STEEL FABRICATOR OR ERECTOR
- QA - QUALITY ASSURANCE TASKS TO BE PERFORMED BY A SPECIAL INSPECTION AGENCY OR INDIVIDUALS DEFINED BY AWS B5.1, OR INDIVIDUALS QUALIFIED UNDER THE PROVISIONS OF AWS D1.1/D1.1M SUBCLAUSE 6.1.4

TABLE N5.6-1; INSPECTION TASKS PRIOR TO BOLTING

INSPECTION TASKS PRIOR TO BOLTING	QC	QA
MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	O	P
FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS	O	O
PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE)	O	O
PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL	O	O
CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS	O	O
PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLES AND METHODS USED	P	O
PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS, AND OTHER FASTENER COMPONENTS	O	O

TABLE N5.6-2; INSPECTION TASKS DURING BOLTING

INSPECTION TASKS DURING BOLTING	QC	QA
FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED	O	O
JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION	O	O
FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING	O	O
FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH THE RCSC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	O	O

TABLE N5.6-3; INSPECTION TASKS AFTER BOLTING

INSPECTION TASKS DURING BOLTING	QC	QA
DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	P	P

REQUIRED STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION FOR SEISMIC RESISTANCE: STRUCTURE HEIGHT > 75' PER IBC 1704.5.1

DRAWING ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	LF	LINEAR FEET
AGL	ABOVE GRADE LEVEL	MAX	MAXIMUM
AWG	AMERICAN WIRE GAUGE	MECH	MECHANICAL
AC	AIR CONDITIONING	MFR	MANUFACTURER
ADJ	ADJUSTABLE	MGR	MANAGER
APPROX	APPROXIMATELY	MIN	MINIMUM
AZ	AZIMUTH	MISC	MISCELLANEOUS
BLDG	BUILDING	MTL	METAL
CM	CONSTRUCTION MANAGER	MTZL	METAL(EE(D)
CAB	CABINET	MW	MICROWAVE
CL	CENTERLINE	NEC	NATIONAL ELECTRICAL CODE
CLG	CEILING	(N)	NEW
CLR	CLEAR	NIC	NOT IN CONTRACT
CO	COFFER	NTS	NOT TO SCALE
CONC	CONCRETE	N/A	NOT APPLICABLE
COND	CONDUIT	OC	ON CENTER
CONST	CONSTRUCTION	OD	OUTSIDE DIAMETER
CONT	CONTINUOUS	OP	OVERHEAD POWER
DEMO	DEMOLISH	OT	OVERHEAD FIBER
DIA	DIAMETER	OPP	OPPOSITE
DIM	DIMENSION	PL	PROPERTY LINE
DN	DOWN	PLYWD	PLYWOOD
DTL	DETAIL	PM	PROJECT MANAGER
DWG	DRAWING	PROP	PROPERTY
EA	EACH	PT	PRESSURE TREATED
ELECT	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION	ROW	RIGHT OF WAY
EOR	ENGINEER OF RECORD	RRU/RRH	REMOTE RADIO UNIT
EQ	EQUAL	REQ	REQUIRED
EQUIP	EQUIPMENT	SBTC	SOLID BARE TINNED COPPER
(E)	EXISTING	SF	SQUARE FEET
EXT	EXTERIOR	SHF	SHEET
FIN	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FT	FOOT, FEET	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURE, STRUCTURAL
GC	GENERAL CONTRACTOR	TOC	TOP OF CONCRETE
GWB	GYPSUM WALL BOARD	TOM	TOP OF MASONRY
GR	GRADE	THRU	THROUGH
GRND	GROUND	TNND	TINNED
HVAC	HEATING, VENTING & AIR CONDITIONING	TYP	TYPICAL
HORIZ	HORIZONTAL	UG	UNDERGROUND
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	UP	UNDERGROUND POWER
ID	INSIDE DIAMETER	UF	UNDERGROUND FIBER
IN	INCH	VIF	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	W/P	WATERPROOF
JBOX	JUNCTION BOX	W/	WITH
LB(S)	POUND(S)	W/O	WITHOUT



DRAWN BY: CL
CHECKED BY: CL

DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK

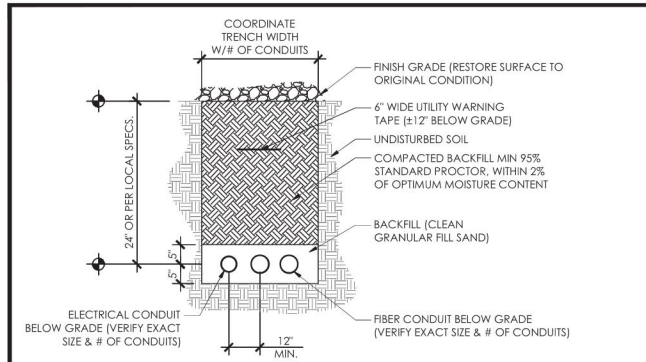
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MOSSYROCK, WA 98564

SHEET TITLE

GENERAL NOTES

SHEET NO.

GN2.0

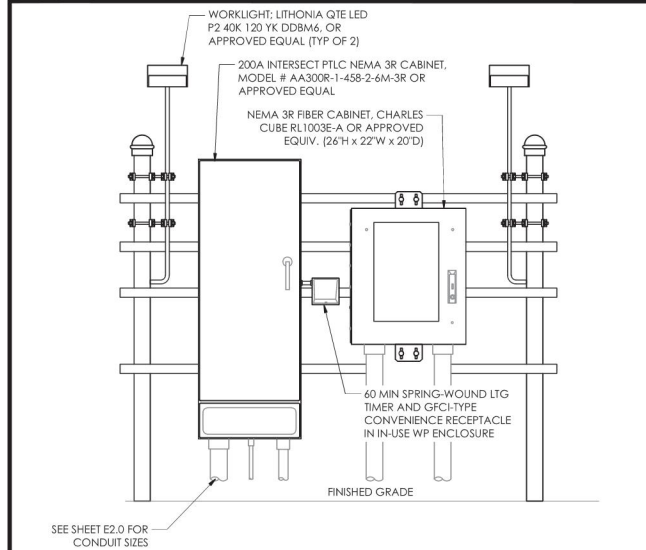


NOTES:

1. INSTALL ALL UNDERGROUND UTILITIES PER LOCAL UTILITY REQUIREMENTS.
2. LOCATE ALL UNDERGROUND UTILITIES PRIOR TO TRENCHING / EXCAVATION.
3. COORDINATE SIZE, TYPE, AND STUB-UP LOCATIONS WITH LOCAL UTILITY COMPANIES REQUIREMENTS.
4. REFER TO ELECT PLAN FOR EXACT SIZE AND LOCATION.
5. ALL SWEEPS TO HAVE A MINIMUM BENDING RADIUS OF 36" UNLESS NOTED OTHERWISE.
6. CONTRACTOR TO MAINTAIN MIN. SEPARATION REQUIREMENTS BETWEEN MULTIPLE CONDUITS PER LOCAL UTILITY REQUIREMENTS.
7. COMPACT BACKFILL TO 95% PROCTOR DENSITY AT ALL DRIVEWAY OR HARD SURFACED AREAS. COMPACT TO 90% PROCTOR DENSITY ALL OTHER AREAS UNLESS NOTED OTHERWISE. REFER TO GEOTECHNICAL REPORT.
8. CONTRACTOR TO RESTORE TRENCH TO ITS ORIGINAL CONDITION BY SEEDING / SODDING GRASS AREAS, OR REPLACING ASPHALT / CONCRETE TO THEIR ORIGINAL CROSS SECTION.
9. CONTRACTOR TO OBTAIN NECESSARY PERMITS FOR ALL RIGHT-OF-WAY WORK.

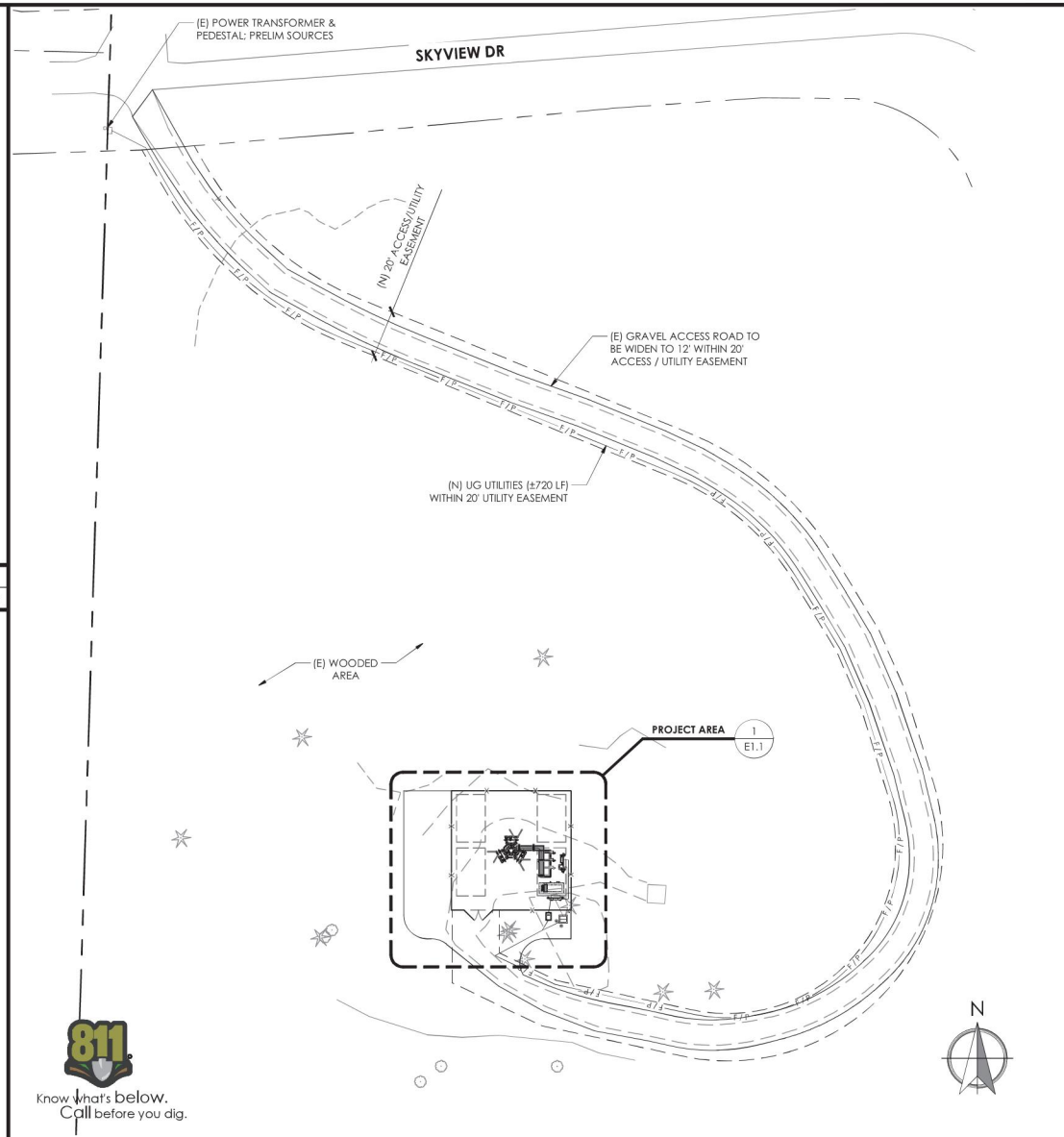
1 UTILITY TRENCH

11X17 SCALE: NTS
22 X 34 SCALE: NTS



2 UTILITY H-FRAME

11X17 SCALE: NTS
22 X 34 SCALE: NTS



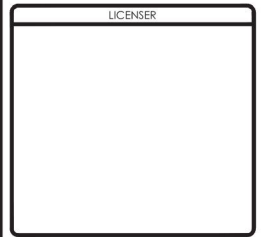
3 UTILITY SITE PLAN

11 X 17 SCALE: 1" = 400'-0"
22 X 34 SCALE: 1" = 200'-0"



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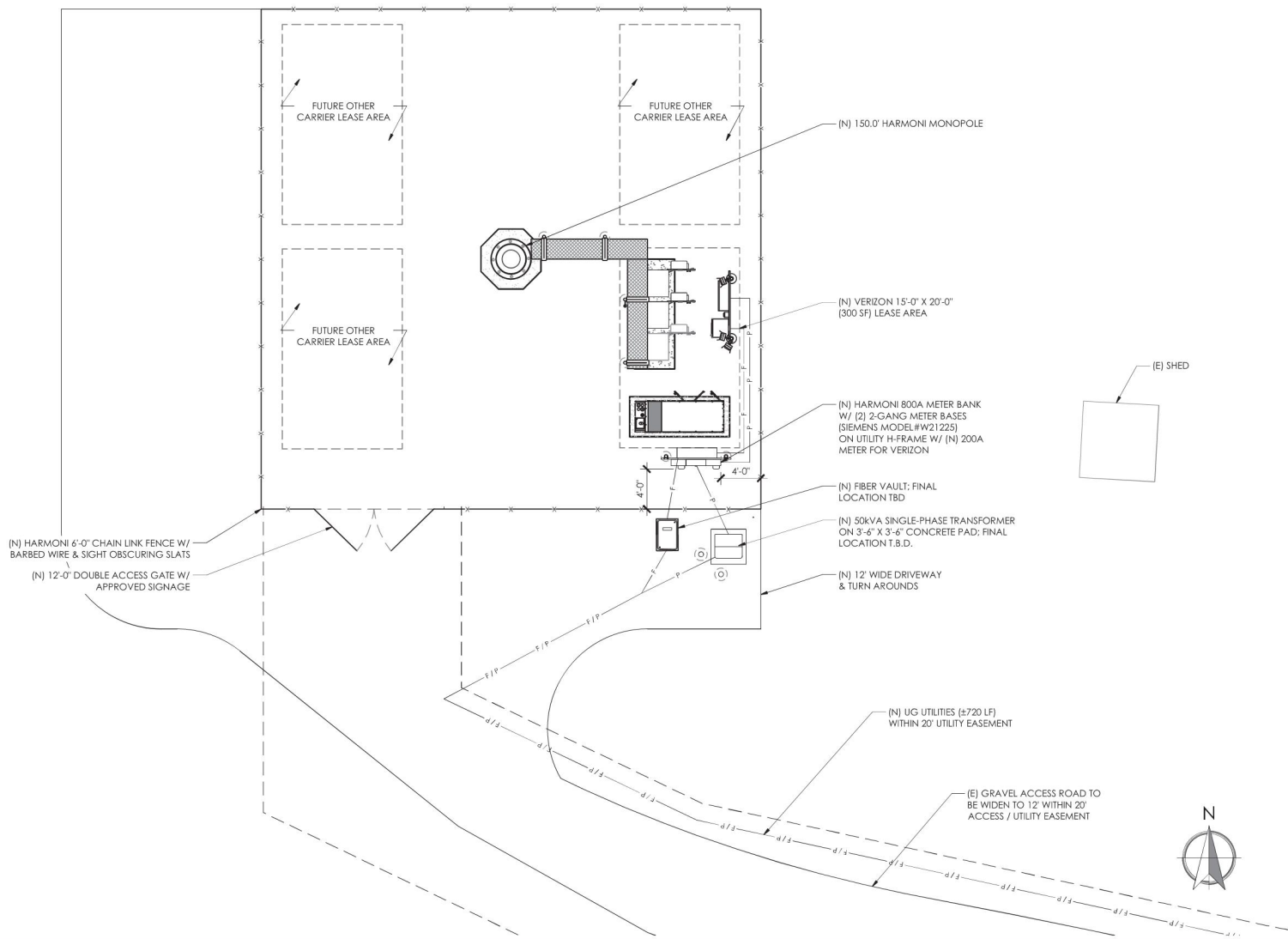
DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS



PROJECT INFORMATION
MOSSYROCK
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE
UTILITY SITE PLAN

SHEET NO.
E1.0



HARMONI TOWERS

verizon

North GROUP

CAPITAL DESIGN SERVICES
1910 4TH AVE. E. PMB 198
OLYMPIA, WA 98504
360.915.6750
WWW.CAPITALDESIGNSERVICES.COM

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CHECKED BY: CL

DRAWING VERSION		
VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK

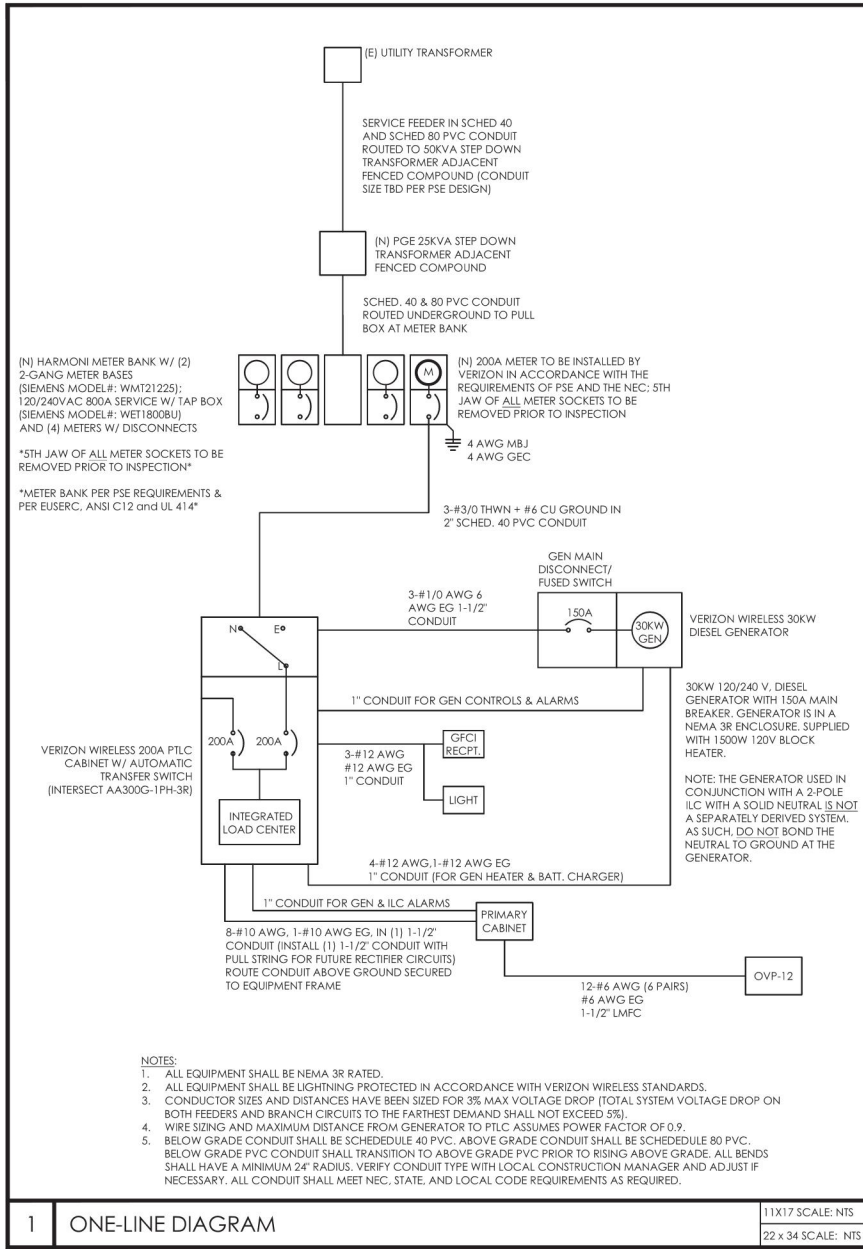
262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

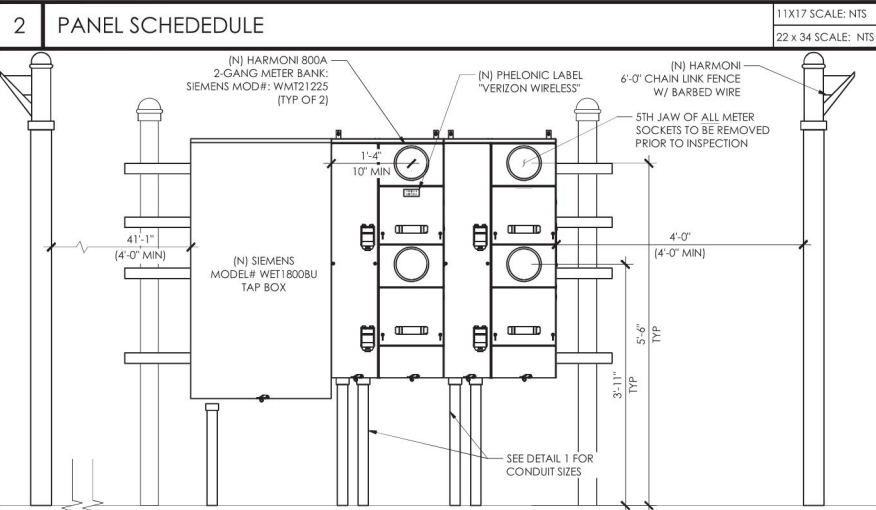
ENLARGED
UTILITY SITE PLAN

SHEET NO.

E1.1



PANEL NAME:		VZW PTL/C		MODEL NUMBER:		INTERSECT AA300G-1PH-3R									
RATED VOLTAGE:		240	120	VOLTS		PHASE/WIRE:		1/3	ENCLOSURE TYPE:		NEMA 3R WITHIN PTL/C				
MAIN BREAKER:		200	AMPS		BUS RATING:		200		KEY DOOR LATCH:		YES				
MOUNT:		SURFACE		NEUTRAL BAR:		YES		HINGED DOOR:		YES					
POS	DEMAND FACTOR	BUS AMPS		LOAD	POLES	AMPS	L1	L2	POLES	AMPS	LOAD	BUS AMPS		DEMAND FACTOR	POS
		L1	L2									L1	L2		
1	1.0		18	RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER		18	1.0	2
3	1.0		18										18	4	
5	1.0	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER		18	1.0	6
7	1.0		18										18	8	
9	1.0	18		RECTIFIER	2	30A									10
11	1.0		18											12	
13	1.0	18		RECTIFIER	2	30A									14
15	1.0		18											16	
17	1.25	12		GFI RECPT. /LIGHT	1	20A									18
19	1.25		12	ALTERNATOR HEATER	1	20A									20
21	1.25	5		BATT. CHARGER	1	20A									22
23															24
25															26
27															28
29															30
		93.25	87	SUB TOTAL AMPS								SUB TOTAL AMPS:		36	36
												FACTORED TOTAL AMPS:		129.25	123
NOTES:															
1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.															
2. MAXIMUM LENGTH OF RECTIFIER CIRCUITS SHALL BE 50FT.															
3. INTERSECT/ GENERAC INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND AUTOMATIC TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.															
4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.															



3 HARMONI METER BASE DETAIL

11X17 SCALE: NTS

22 x 34 SCALE: NTS



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PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

ONE-LINE DIAGRAMS
& PANEL SCHEDULE

SHEET NO.

E2.0

1. DEPICTION OF GROUNDING DESIGN IS FOR CONCEPTUAL PURPOSES ONLY. CONTRACTOR TO DETERMINE FINAL ROUTING PER EXISTING SITE CONDITIONS.
2. GROUNDING SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
3. ALL GROUNDING SHALL CONFORM TO THE CURRENT CARRIER STANDARDS.
4. MINIMUM BENDING RADIUS FOR GROUND CONDUCTOR IS 8", WHEN BENDING IS NECESSARY, GROUND CONDUCTORS ARE TO BE AS STRAIGHT AS POSSIBLE.
5. ALL ABOVE GRADE GROUND LEADS TO BE SHEATHED IN CARFLEX-X-FLEX™ FLEXIBLE CONDUIT OR APPROVED EQUAL.
6. ALL GROUND BAR CONNECTIONS ARE TO BE 2 HOLE LUG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
7. NO SPLICES PERMITTED IN GROUND CONDUCTORS.
8. ALL GROUNDING CONNECTORS TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE FENETROX OR APPROVED EQUAL ANTIOXIDANT GREASE.
9. ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
10. MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6".
11. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
12. GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
13. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUND WIRE SHALL NOT BE USED. METAL CLIPS THAT DO NOT COMPLETELY SURROUND THE GROUND WIRE OR PLASTIC CLIPS ARE ACCEPTABLE.
14. ALL OUTDOOR CONNECTIONS TO BE EXOTHERMIC CADWELD. INTERIOR CONNECTIONS CAN BE A PROPERLY APPLIED CRIMP TYPE UNLESS OTHERWISE SPECIFIED.
15. GROUND BARS SHALL NOT BE FIELD MODIFIED.
16. ALL HORIZONTAL FENCE SECTIONS TO BE GROUNDED WITH 8" SINGLE BARREL GROUND STRAPS.
17. GROUND RING BURIAL DEPTH SHALL BE 24" AND HAVE A NON-DIRECTIONAL SPLICE.
18. A CERTIFIED CONTRACTOR WILL MAKE ALL MEASUREMENTS REQUIRED TO TEST THE GROUNDING SYSTEM, USING A MEGGER OR EQUIVALENT, THE ACCEPTABLE RESISTANCE MEASURED FOR THE GROUNDING SYSTEM WILL NOT EXCEED 5 OHMS RESISTANCE. THREE DISTANCES SHALL BE USED: 1 AT 100 FEET, 1 AT 70 FEET, AND 1 AT 35 FEET. THESE DISTANCES ARE SUBJECT TO A SITE BY SITE BASIS. VERIZON WIRELESS SHALL BE GIVEN 24 HOURS NOTICE BEFORE TESTING IS TO BE DONE. THE COST ASSOCIATED WITH GROUND TESTING WILL BE AT THE EXPENSE OF THE CONTRACTOR.
19. PROVIDE #2 TW GREEN JUMPER FROM EACH CABLE BRIDGE POST TO CABLE BRIDGE CHANNEL.

LEGEND

⊗

GROUND TEST WELL

⦿

GROUND ROD

■

CAD WELD CONNECTION

▲

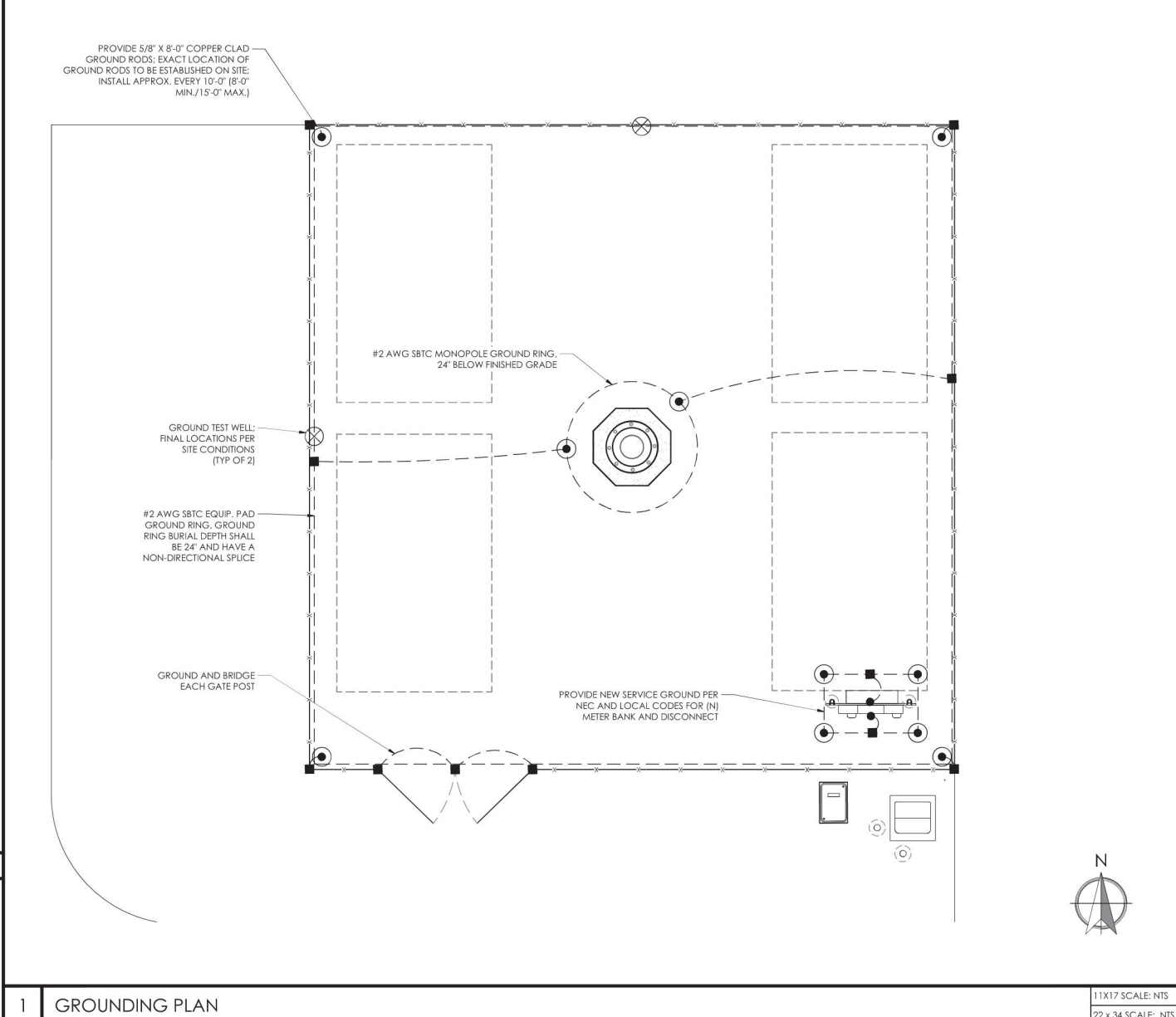
MECHANICAL CONNECTION (DOUBLE HOLE LUG)

●

CONNECT PER MFR SPECIFICATIONS

GB

GROUND BAR



HARMONI TOWERS

verizon

North GROUP

CAPITAL DESIGN SERVICES

1910 4TH AVE. E. PMB 198
OLYMPIA, WA 98526
360.915.6750
WWW.CAPITALDESIGNSERVICES.COM

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VER.	DATE	DESCRIPTION
1	01/16/25	PRELIM CONST DRAWINGS

LICENSER

PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

GROUNDING PLAN

SHEET NO.

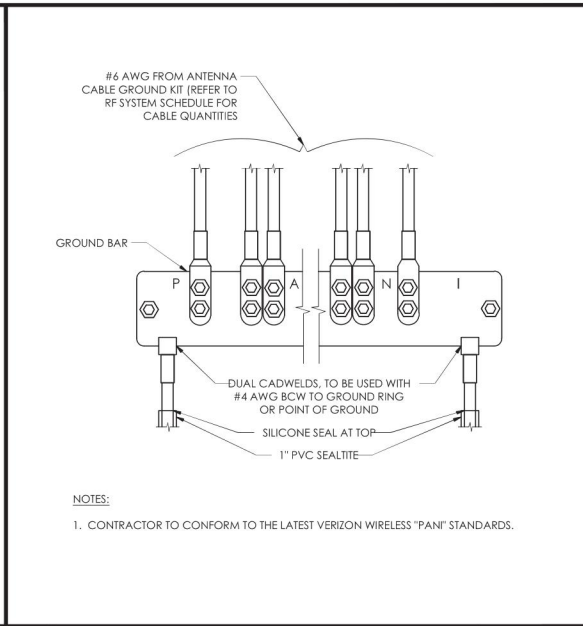
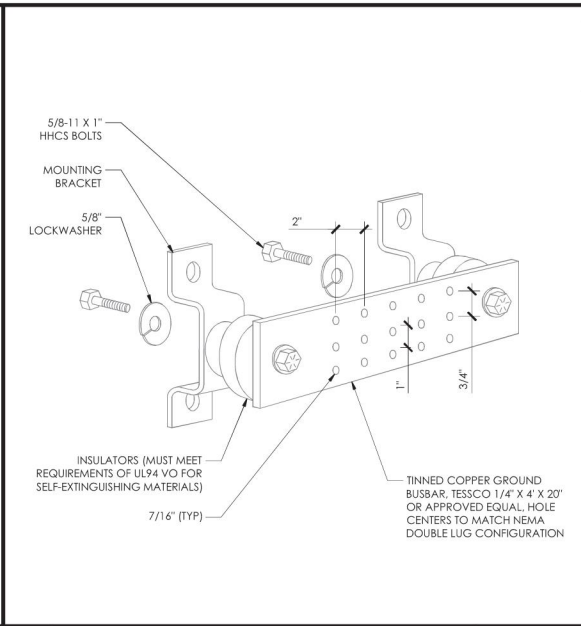
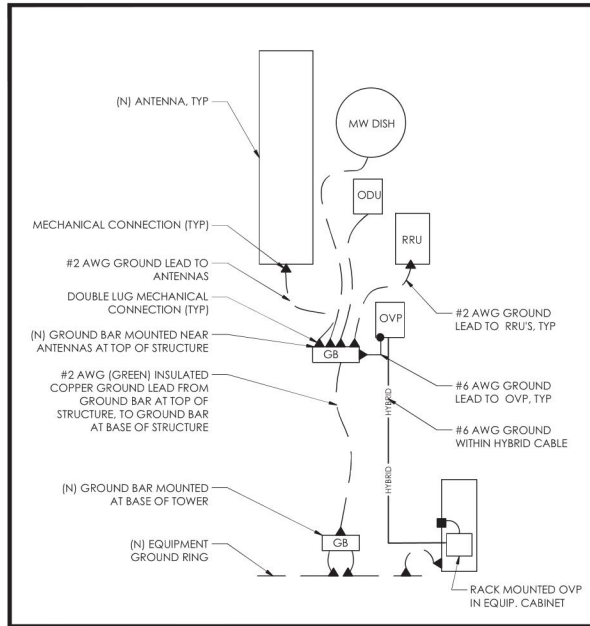
E3.0

11X17 SCALE: NTS

22 x 34 SCALE: NTS

1

GROUNDING PLAN



1 SINGLE-LINE GROUNDING DIAGRAM

11X17 SCALE: NTS

22 x 34 SCALE: NTS

2 GROUND BAR

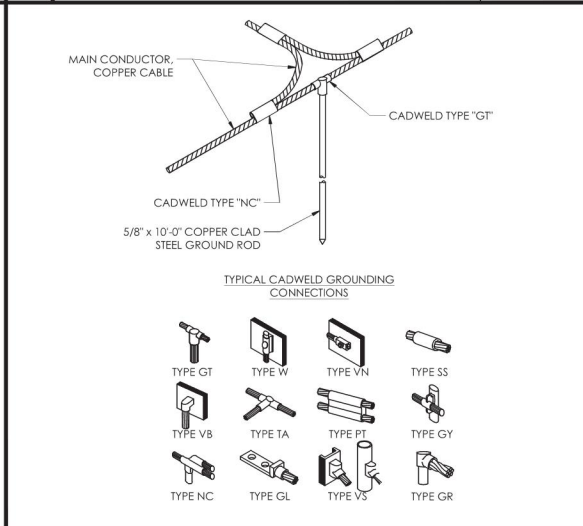
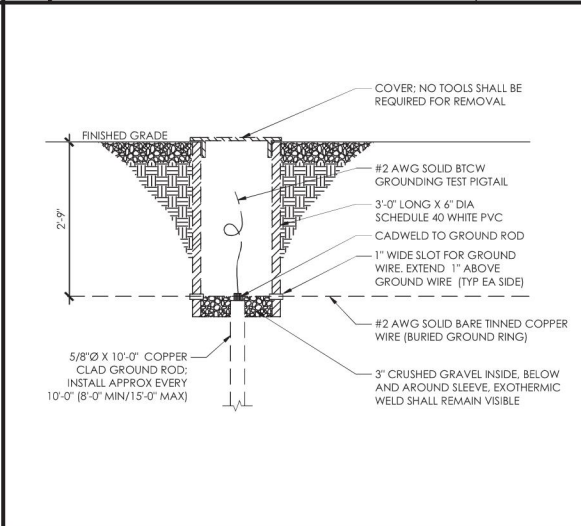
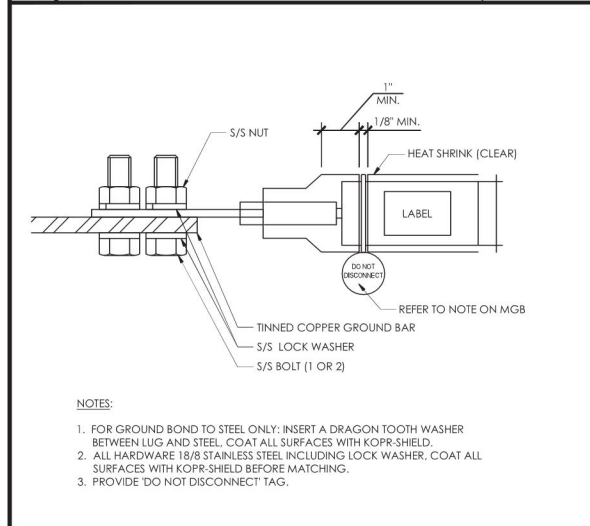
11X17 SCALE: NTS

22 x 34 SCALE: NTS

3 GROUND BAR TO GROUND WIRE

11X17 SCALE: NTS

22 x 34 SCALE: NTS



4 TYPICAL LUG

11X17 SCALE: NTS

22 x 34 SCALE: NTS

5 GROUND TEST WELL

11X17 SCALE: NTS

22 x 34 SCALE: NTS

6 GROUND RING / CADWELD CONN

11X17 SCALE: NTS

22 x 34 SCALE: NTS

1910 4TH AVE. E. PMB 198
OLYMPIA, WA 98504
360.915.6750
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LICENSER

PROJECT INFORMATION

MOSSYROCK

262 SKYVIEW DR
MOSSYROCK, WA 98564

SHEET TITLE

GROUNDING DETAILS

SHEET NO.

E4.0

Lewis County Community Development

125 NW Chehalis Ave, Chehalis, WA 98532 • Phone: (360) 740-1146 • www.lewiscountywa.gov


Master Site Plan Application

For a complete Master Site Review application, you will need:

- Completed 'Master Site Plan Application'
- Site plan that includes all items listed on the 'Site Plan Requirements' handout (attached)
- Associated fees: \$450 Master Site Review / \$150 Minor Review Fee (Fee Includes \$50 Administrative Fee)

RECEIVED

By Mollie Hurt at 12:08 pm, Mar 03, 2025

Full Project Description: Installation of a wireless communication facility consisting of a new 150' 

Tax Parcel Number (s): 028513011000

Site Address: 262 SKYVIEW DR MOSSYROCK, WA 98564

Owner's Name: KEVIN RIFFLE

Owner's Address: 8025 124TH AVE NE KIRKLAND WA 98033

Owner's Phone Number: 425-445-4000 Owner's Email: kevinriffle@live.com

Applicant Information:

Name: Bill North, for Harmoni Towers and Verizon Wireless

Mailing Address: PO Box 2449 Snohomish, WA 98291

Phone Number: 425-876-2909 E-mail: billnorth@northgroup.net

Acknowledgment

I understand that County regulations require owner permission for County personnel to enter private property to conduct permit processing, review, and inspections. I also understand that my failure to grant permission to enter may result in denial or withdrawal of a permit or approval. By my signature below, permission is granted for representatives of the Community Development, Environmental Services, and Public Works Department to enter and remain on and about the property for the sole purpose of processing such permits and performing required inspections or reviews.

I/We certify that all plans, specifications and other submissions required in support of this application conform to the requirements of all federal, state, and local codes and applicable laws and ordinances; and I certify that I am either the current legal owner of this property or their authorized representative. With this document, I take full responsibility for the lawful action that this document allows.

I certify that I have read and understand the limitations and conditions of Lewis County Code and agree to comply with all conditions of approval. I understand that any permits issued by Lewis County, consistent with the attached site plan, are valid ONLY if construction is in according to this plan and all other conditions of the permit are followed. By my signature below, I affirm that all the information and documents provided with this application are true and accurate to the best of my knowledge.

Signature: Bill North  Digitally signed by Bill North
Date: 2025.03.02 12:02:32 -08'00'

Date: 3/2/25

Check one: ☐ Owner ☒ Authorized Agent